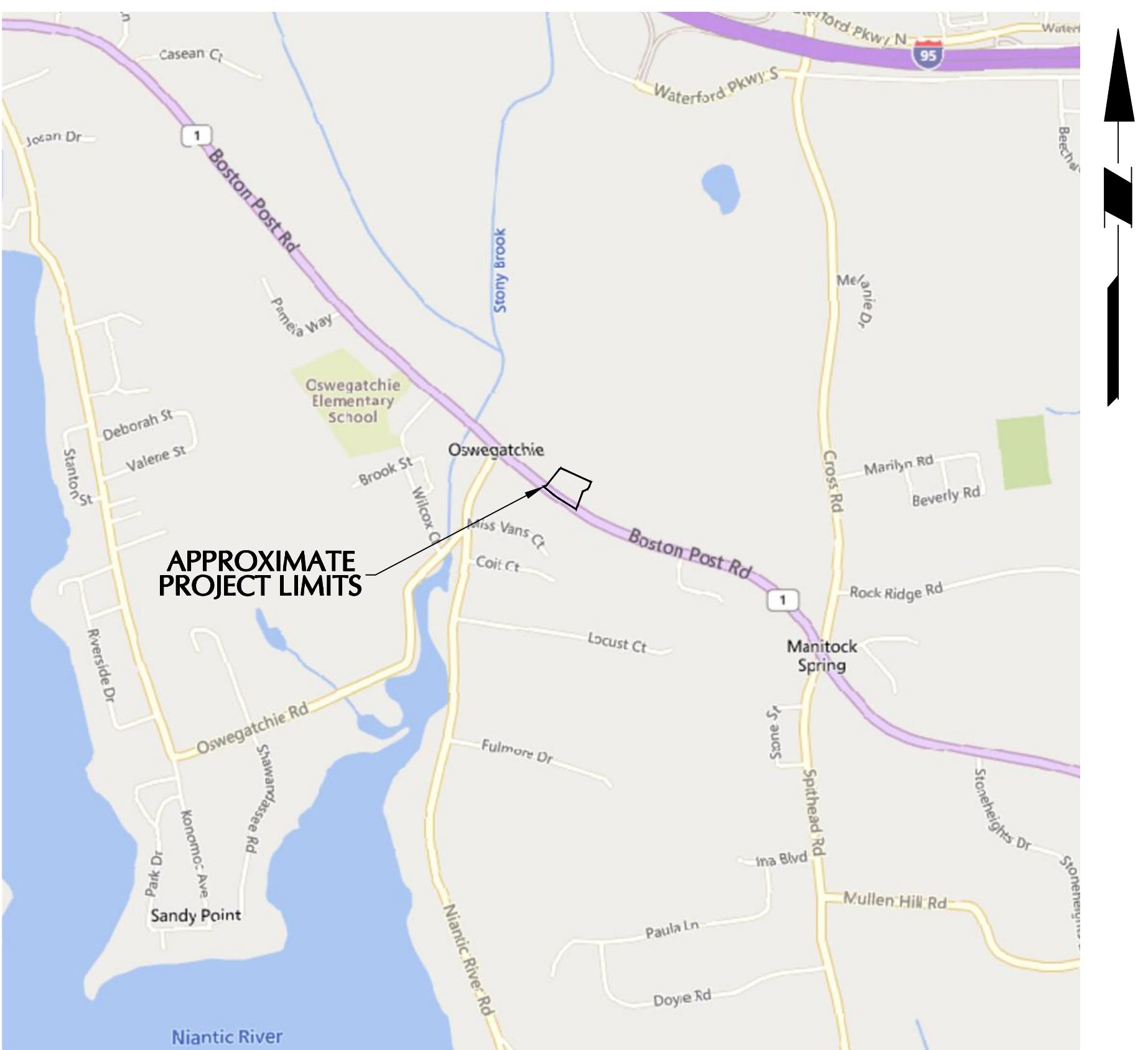


OSWEGATCHIE FIRE STATION

441 BOSTON POST ROAD

WATERFORD, CONNECTICUT

SITE PLAN/DESIGN REVIEW/COASTAL SITE PLAN APPLICATION



LOCATION MAP

SCALE: 1" = 1,000'

OWNER & APPLICANT
OSWEGATCHIE FIRE COMPANY #4, INC.
441 BOSTON POST ROAD
WATERFORD, CT 06385

**SURVEYOR, CIVIL ENGINEER &
LANDSCAPE ARCHITECT**
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES, INC
555 LONG WHARF DRIVE
NEW HAVEN, CT 06511
(203) 562-5771

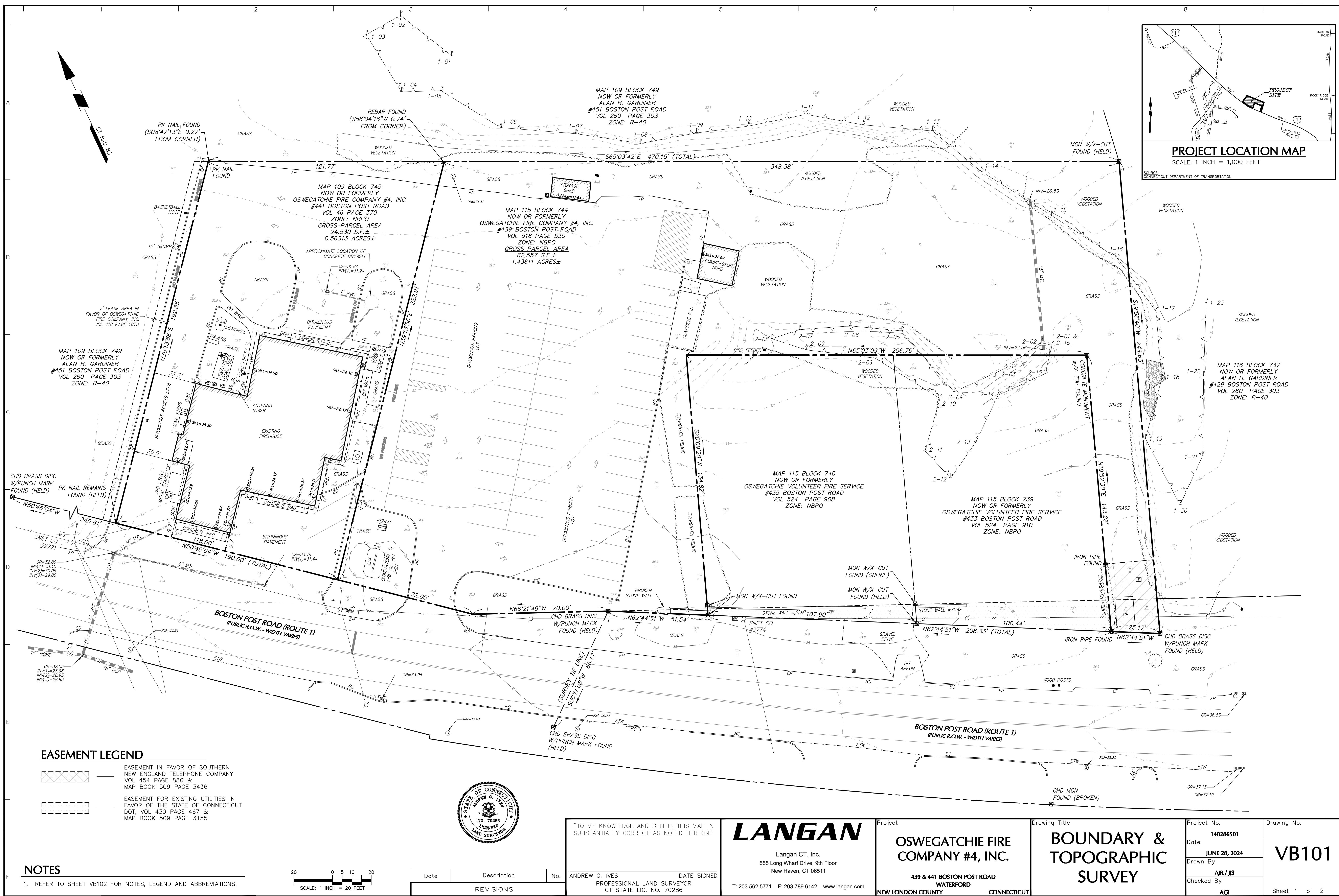
ARCHITECT
SILVER AND PETRUCELLI & ASSOCIATES
3190 WHITNEY AVENUE, BUILDING 2
HAMDEN, CT 06518
(203) 230-9007

DRAWING LIST			
NUMBER	TITLE	DATE	REVISED
-	COVER SHEET	2/7/2025	-
VB101	BOUNDARY AND TOPOGRAPHIC SURVEY	6/28/2024	-
VB102	BOUNDARY AND TOPOGRAPHIC SURVEY	6/28/2024	-
CS101	SITE PLAN	2/7/2025	-
CS501	SITE DETAILS I	2/7/2025	-
CS502	SITE DETAILS II	2/7/2025	-
CG101	GRADING, DRAINAGE & UTILITY PLAN	2/7/2025	-
CG501	GRADING & DRAINAGE DETAILS I	2/7/2025	-
CU101	UTILITY PLAN	2/7/2025	-
CU501	UTILITY DETAILS I	2/7/2025	-
CU501	UTILITY DETAILS II	2/7/2025	-
CE101	EROSION CONTROL/CONSTRUCTION PHASING PLAN I	2/7/2025	-
CE102	EROSION CONTROL/CONSTRUCTION PHASING PLAN II	2/7/2025	-
CE501	SOIL EROSION & SEDIMENT CONTROL DETAILS	2/7/2025	-
LP101	PLANTING PLAN	2/7/2025	-
LP501	PLANTING DETAILS	2/7/2025	-
LL101	LIGHTING PLAN	2/7/2025	-
LL501	LIGHTING DETAILS	2/7/2025	-
A100	FLOOR PLANS	1/24/2025	-
A302	EXTERIOR ELEVATIONS	1/24/2025	-
A303	EXTERIOR ELEVATIONS	1/24/2025	-
A304	3D VIEW	1/24/2025	-
A305	3D VIEW	1/24/2025	-

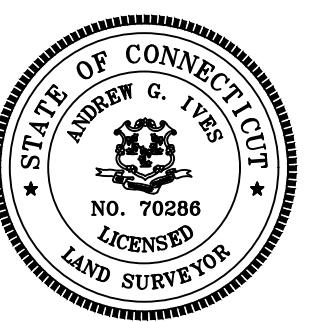
RELEASE DATES

DATE	ISSUED FOR
1/7/2025	INLAND WETLAND/WATERCOURSE PERMIT APP
1/21/2025	TOWN CONSERVATION COMMENTS
2/1/2025	SITE PLAN/DRB/COASTAL SITE PLAN APP

LANGAN



1	2	3	4	5	6	7	8
A	<p>NOTES</p> <p>1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.</p> <p>a. THIS SURVEY IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL ACCURACY OF A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO A T-2 ACCURACY. THE BOUNDARY DETERMINATION IS A RESURVEY. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BOUNDARY OPINION AND DEPICT SITE FEATURES FOR FUTURE SITE DEVELOPMENT.</p> <p>2. THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:</p> <p>B. MAP TITLED "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERFORD BOSTON POST ROAD FROM THE HICKS HILL ROAD WESTERLY ABOUT 5,800 FEET ROUTE U.S.1", SCALE: 1"=40', DATED: AUG. 29, 1930, LAST REVISED: APRIL 13, 1994, NUMBER 878 SHEET NO. 2 OF 3</p> <p>B. MAP TITLED "SITE DEVELOPMENT PLAN, ZONING LOCATION SURVEY SHOWING NEW ADDITION 441 BOSTON POST ROAD (US ROUTE 1) WATERFORD, CONNECTICUT, PROPERTY OF OSWEGATCHIE FIRE COMPANY #4, INC., ZONE: NB-PO", SCALE: 1"= 20', DATED: FEBRUARY 1, 2008, BY: JAMES BERNARDO LAND SURVEYING, LLC</p> <p>C. MAP TITLED "TOWN OF WATERFORD MAP SHOWING LAND RELEASED TO OSWEGATCHIE FIRE COMPANY #4, INC. - BY THE STATE OF CONNECTICUT - BOSTON POST ROAD U.S. RTE. 1", SCALE: 1 INCH = 40 FEET, DATED: 19 OCTOBER 1991, LAST REVISED: 17 MARCH 1992, AS PREPARED BY: CONNECTICUT DEPARTMENT OF TRANSPORTATION</p> <p>D. MAP TITLED "PLAN SHOWING PROPERTY BELONGING TO OSWEGATCHIE FIRE COMPANY, INC. BOSTON POST ROAD WATERFORD, CONNECTICUT", SCALE: 1"=20', DATED: NOVEMBER 1979, MAP BOOK 509 PAGE 1240</p> <p>E. MAP TITLED "TOWN OF WATERFORD MAP SHOWING LAND RELEASED TO OSWEGATCHIE FIRE COMPANY #4, INC. BY THE STATE OF CONNECTICUT BOSTON POST ROAD U.S. RTE. 1", SCALE: 1"=40', DATED: OCTOBER 1991, LAST REVISED: 3/17/92, TOWN NO. 152, PROJECT NO. 152-MISC, SERIAL NO. 66, SHEET 1 OF 1, MAP BOOK 509 PAGE 3155</p> <p>F. MAP TITLED "DETAILED SITE PLAN, PROPERTY OF OSWEGATCHIE FIRE CO. INC. BOSTON POST ROAD WATERFORD, CONNECTICUT, ZONE: N.B.P.O.", SCALE: 1"=20', DATED: JULY 19, 1993, LAST REVISED: MAY 2, 1994, BY: WILLIAM F. KENT, P.L.S., MAP BOOK 509 PAGE 3166</p> <p>G. MAP TITLED "EASEMENT PLAN SHOWING EASEMENT TO BE GRANTED TO THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY ON THE PROPERTY OF OSWEGATCHIE FIRE CO. #4, INC. BOSTON POST ROAD - U.S. ROUTE #1 WATERFORD, CONNECTICUT", SCALE: 1"=10', DATED: OCTOBER 20, 1995, BY: ANGUS McDONALD/GARY SHARPE & ASSOCIATES, INC., MAP BOOK 509 PAGE 3436</p> <p>H. MAP TITLED "BOUNDARY SURVEY MAP PROPERTY OF OSWEGATCHIE FIRE COMPANY #4, INC. #433-441 BOSTON POST ROAD (U.S. ROUTE #1) WATERFORD, CONNECTICUT", SCALE: 1"=20', DATED: SEPTEMBER 24, 2000, LAST REVISED: 10/8/00, BY: JAMES BERNARDO, LLS, MAP BOOK 509 PAGE 4256</p>						
B	<p>3. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 (EPOCH 2011). POSITION WAS DETERMINED BY GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) AS PROVIDED BY HXGN SMARTNET CONTINUOUSLY OPERATED REFERENCE STATIONS (CORS).</p> <p>4. ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOD 18) AS DETERMINED BY GNSS.</p> <p>5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN CT, INC. FIELD WORK COMPLETED DURING THE MONTH OF JUNE 2024.</p> <p>6. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "NEW LONDON COUNTY, CONNECTICUT PANEL 481 OF 554 MAP NUMBER 09011C0481J, EFFECTIVE DATE AUGUST 5, 2013" THE PROJECT AREA IS IN ZONE X (UNSHADED).</p> <p>7. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.</p> <p>8. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS, EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS).</p> <p>9. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.</p> <p>10. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.</p> <p>11. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.</p> <p>12. WETLANDS DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION THE WEEK OF JUNE 2024. ALL FLAGS WERE FIELD LOCATED ON JUNE 20, 2024.</p> <p>13. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.</p>						
C	<p>14. THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.</p> <p>15. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.</p> <p>16. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.</p> <p>17. WETLANDS DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION THE WEEK OF JUNE 2024. ALL FLAGS WERE FIELD LOCATED ON JUNE 20, 2024.</p> <p>18. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.</p>						
D	<p>19. THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.</p> <p>20. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.</p> <p>21. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.</p> <p>22. WETLANDS DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION THE WEEK OF JUNE 2024. ALL FLAGS WERE FIELD LOCATED ON JUNE 20, 2024.</p> <p>23. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.</p>						
E	<p>24. THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.</p> <p>25. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.</p> <p>26. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.</p> <p>27. WETLANDS DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION THE WEEK OF JUNE 2024. ALL FLAGS WERE FIELD LOCATED ON JUNE 20, 2024.</p> <p>28. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.</p>						
F	<p>29. THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.</p> <p>30. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.</p> <p>31. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.</p> <p>32. WETLANDS DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION THE WEEK OF JUNE 2024. ALL FLAGS WERE FIELD LOCATED ON JUNE 20, 2024.</p> <p>33. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.</p>						



"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

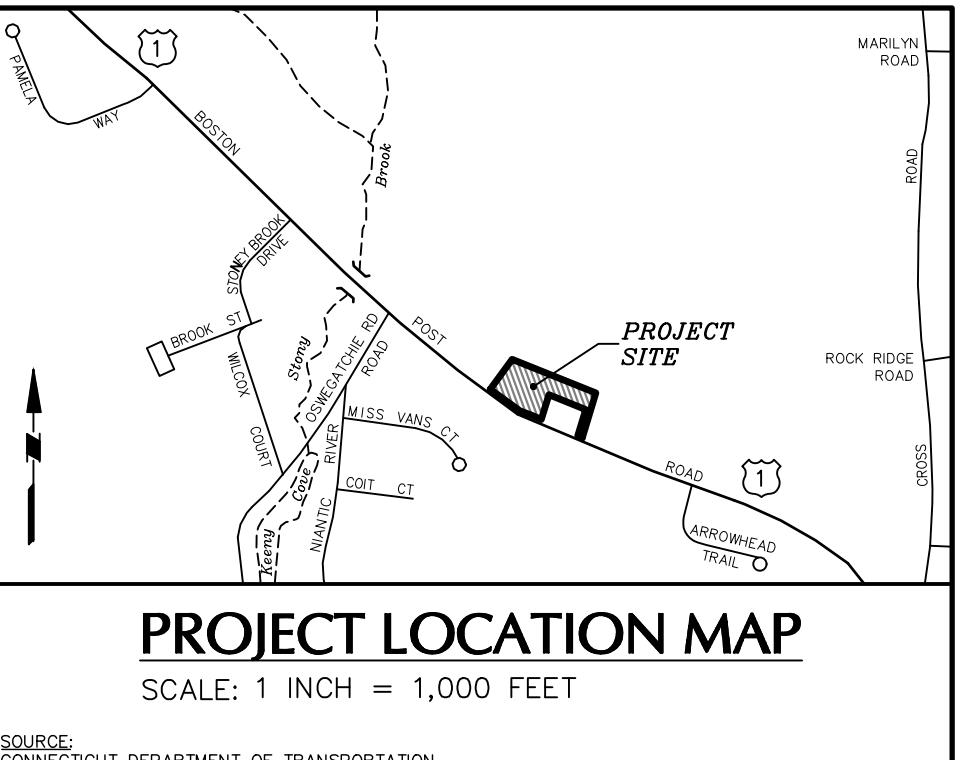
Date	Description	No.
REVISIONS		

LANGAN
Langan CT, Inc.
555 Long Wharf Drive, 9th Floor
New Haven, CT 06511
T: 203.562.5771 F: 203.789.6142 www.langan.com

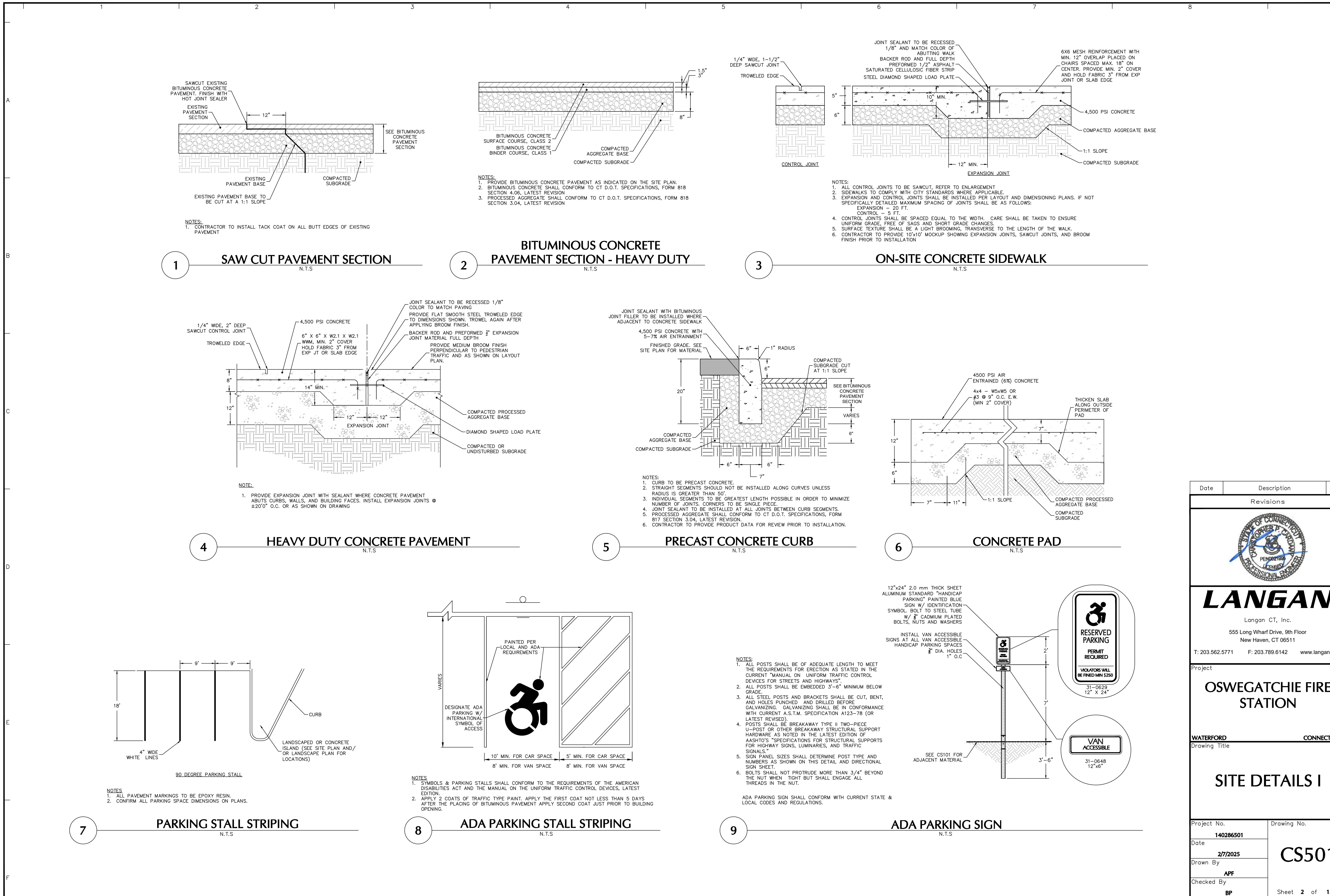
Project
OSWEGATCHIE FIRE COMPANY #4, INC.
439 & 441 BOSTON POST ROAD
WATERFORD
NEW LONDON COUNTY CONNECTICUT

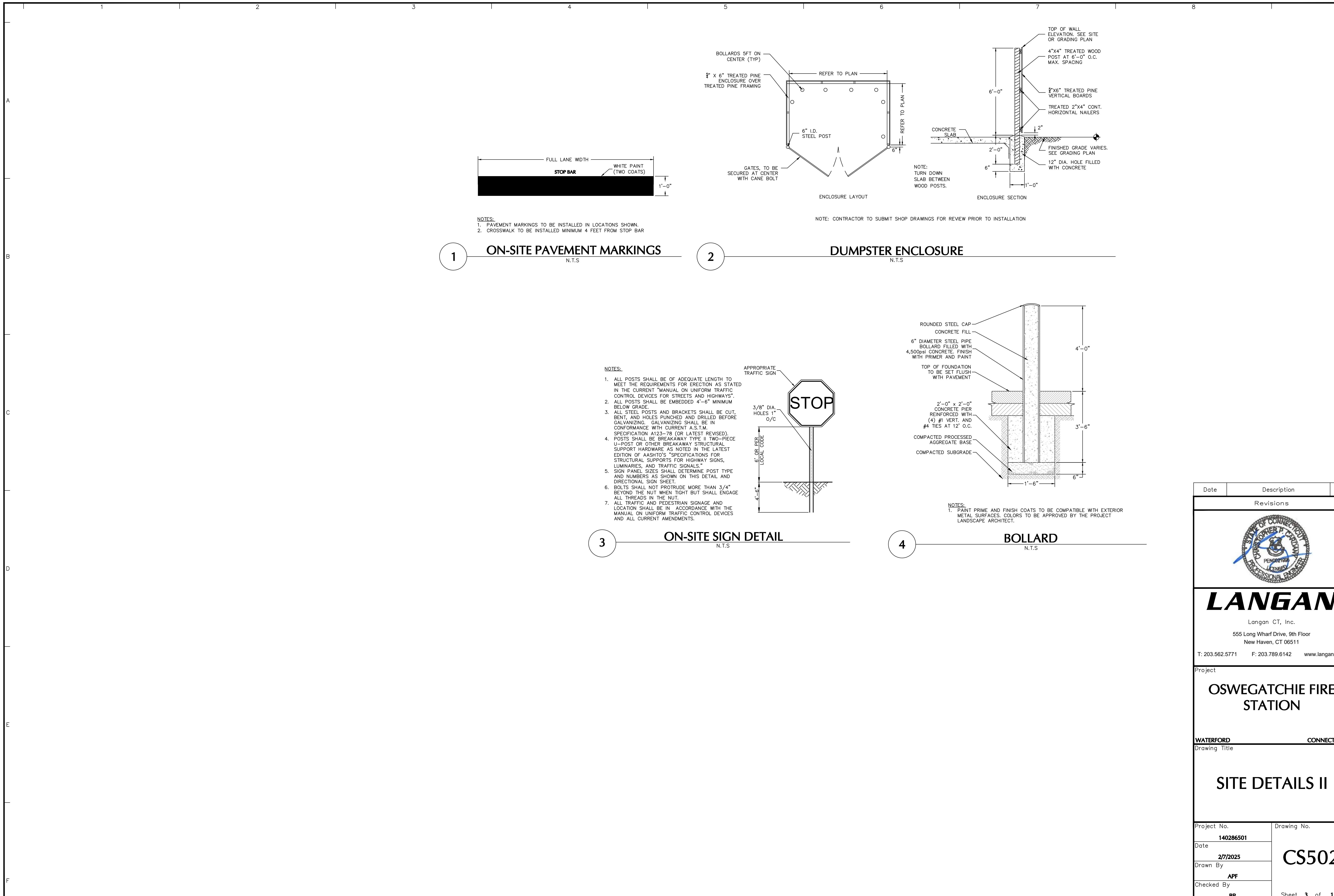
Drawing Title
BOUNDARY & TOPOGRAPHIC SURVEY

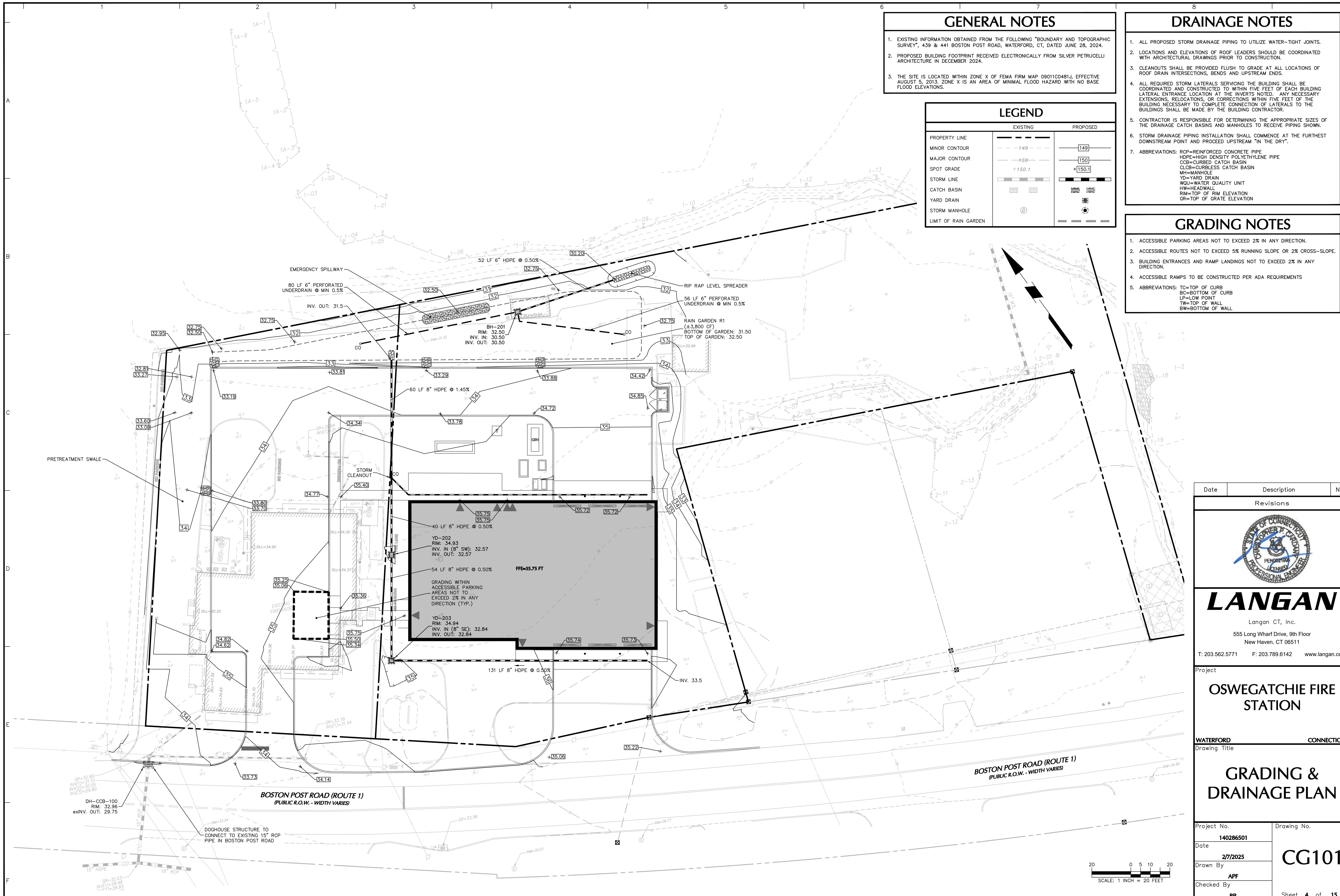
Project No. **140286501**
Drawing No. **VB102**

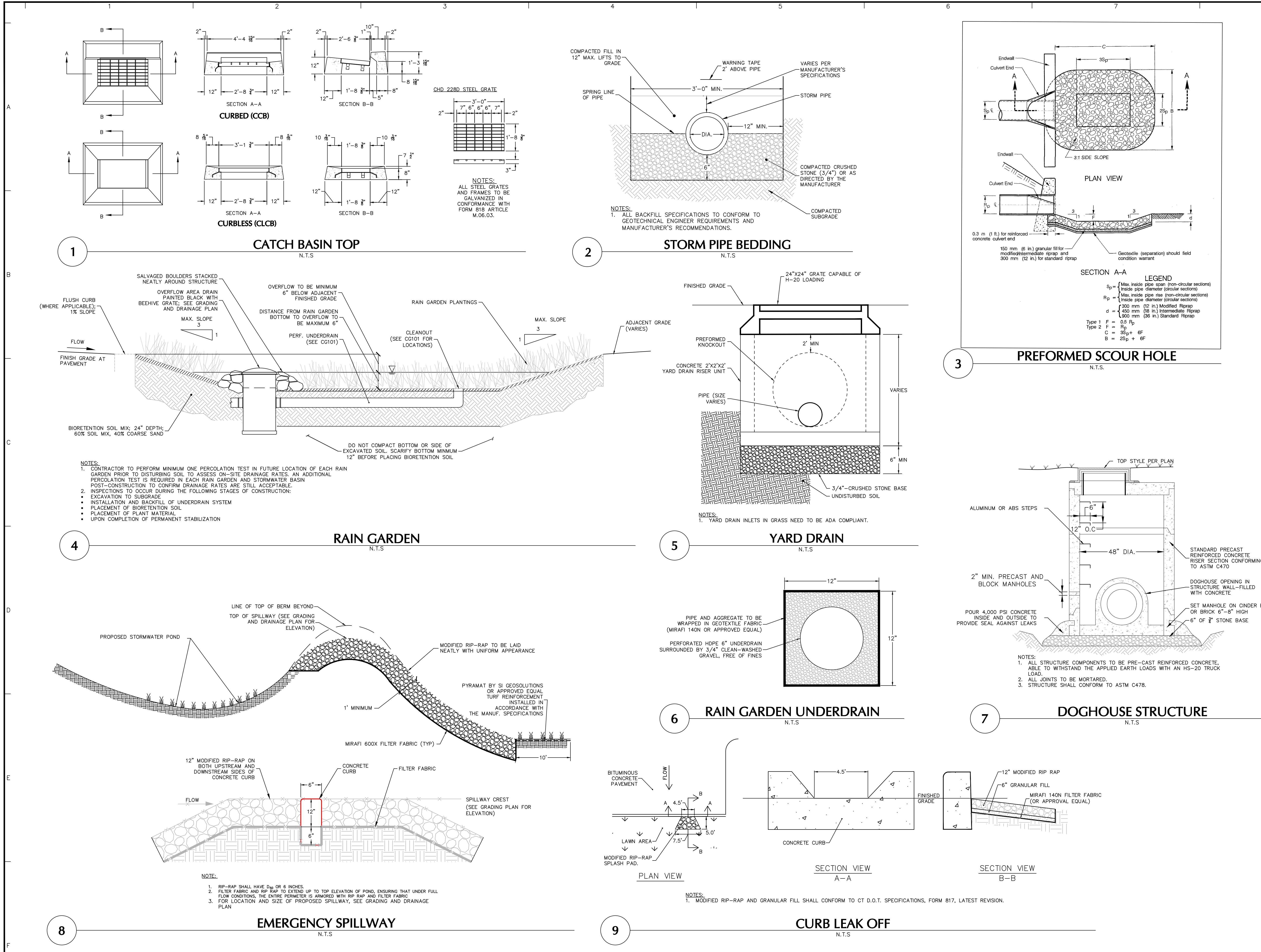


SOURCE: CONNECTICUT DEPARTMENT OF TRANSPORTATION









Date	Description	No.
Revisions		
LANGAN		
Langan CT, Inc. 555 Long Wharf Drive, 9th Floor New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142 www.langan.com		
Project		
OSWEGATCHIE FIRE STATION		
WATERFORD CONNECTICUT		
GRADING AND DRAINAGE DETAILS		
Project No.	140286501	Drawing No.
Date	2/7/2025	
Drawn By	APF	
Checked By	BP	
Sheet	5	of 15

GENERAL NOTES

- EXISTING INFORMATION OBTAINED FROM THE FOLLOWING "BOUNDARY AND TOPOGRAPHIC SURVEY", 439 & 441 BOSTON POST ROAD, WATERFORD, CT, DATED JUNE 28, 2024.
- PROPOSED BUILDING FOOTPRINT RECEIVED ELECTRONICALLY FROM SILVER PETRUCELLI ARCHITECTURE IN DECEMBER 2024.
- THE SITE IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP 09011C0481J, EFFECTIVE AUGUST 5, 2013. ZONE X IS AN AREA OF MINIMAL FLOOD HAZARD WITH NO BASE FLOOD ELEVATIONS.

TOWN OF WATERFORD UTILITY NOTES

1. A REPRESENTATIVE FROM THE UTILITY COMMISSION SHALL BE PRESENT FOR THE CONNECTION TO THE SEWER SYSTEM. PLEASE GIVE AT LEAST 48 HOURS NOTICE BEFORE CONNECTION.
2. A REPRESENTATIVE FROM THE UTILITY COMMISSION SHALL BE PRESENT FOR THE DISCONNECTION OF THE EXISTING FIRE STATION. PLEASE GIVE AT LEAST 48 HOURS NOTICE BEFORE DISCONNECTION.
3. ALL DESIGN AND CONSTRUCTION OF WATER AND SEWER UTILITIES MUST CONFORM TO THE TOWN OF WATERFORD'S STANDARDS AND SPECIFICATIONS.
4. CONTACT THE CITY OF NEW LONDON FOR INFORMATION REGARDING WATER CONNECTION.

UTILITY NOTES

GENERAL:

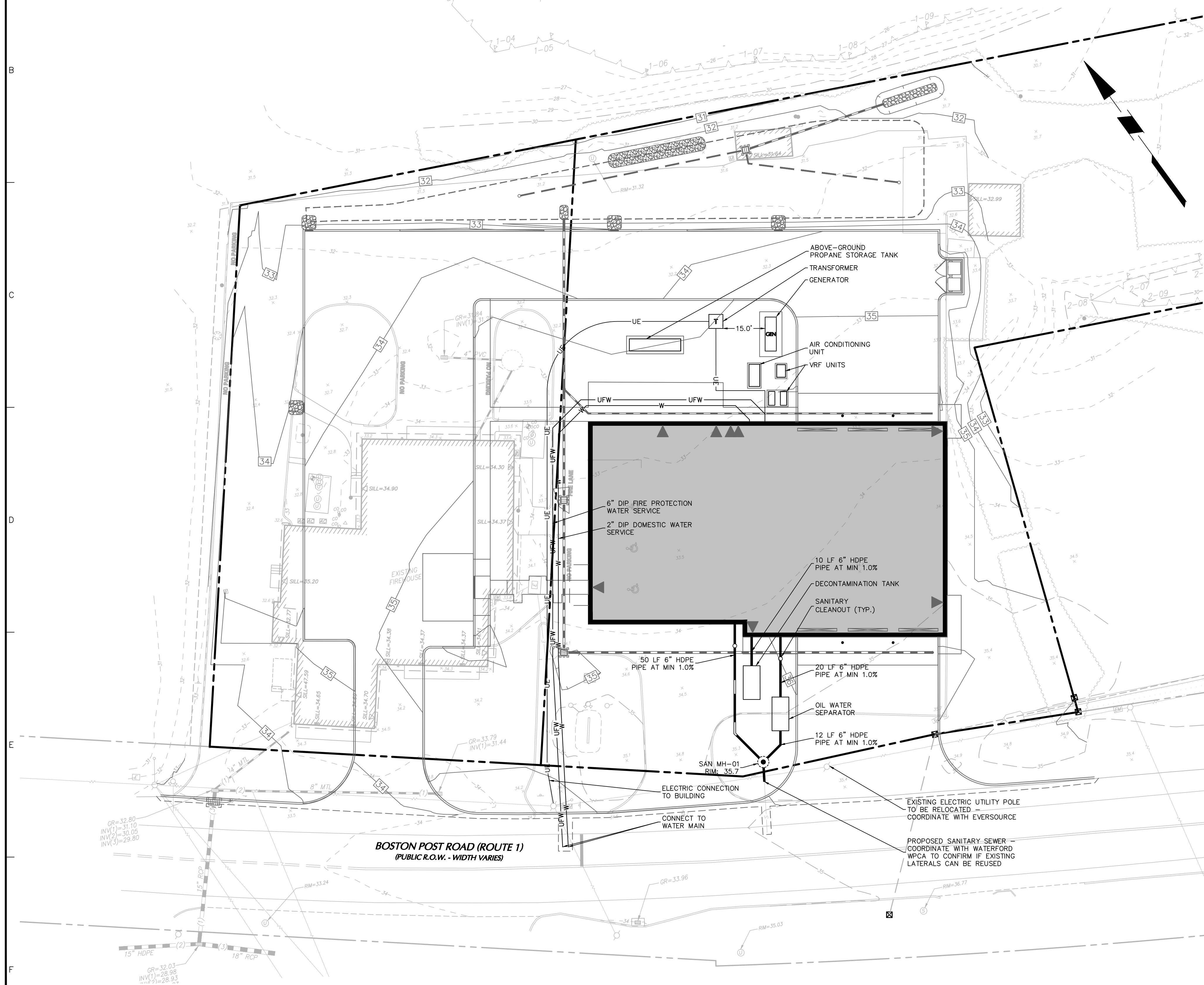
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS (WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CABLE), INVERTS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO SUBSTANTIALLY DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND REQUIRING MODIFICATIONS TO THE SITE DESIGN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE CONSTRUCTION. SUBSTANTIALLY DIFFERENT UTILITY CONDITIONS THAT ARE ENCOUNTERED BY THE CONTRACTOR, THAT REQUIRE MODIFICATION OF SITE DESIGN AND THAT ARE NOT BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO.
3. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
4. ALL UNDERGROUND UTILITIES MUST BE CLEARLY & PERMANENTLY MARKED WITH UNDERGROUND MARKING TAPE AND AS REQUIRED BY THE APPROPRIATE UTILITY COMPANY.
5. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, ROOF DRAINS, AND ALL OTHER UTILITIES.
6. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
7. ALL MANHOLE COVERS, GRATES, RIMS, AND UTILITY STRUCTURES TO REMAIN SHALL BE ADJUSTED TO PROPOSED ELEVATION.
8. CONTRACTOR TO PROVIDE ALL FITTINGS AND BENDS NECESSARY TO ACCOMPLISH WORK.
9. A MINIMUM EIGHTEEN (18) INCHES VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED.
10. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
11. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION. IN THE EVENT THAT PAVEMENT REPAIR CANNOT BE PROVIDED DUE TO WEATHER CONDITIONS, PROVIDE TEMPORARY PAVEMENT REPAIR UNTIL PERMANENT REPAIR CAN BE PROVIDED.
12. ALL UTILITY LINES SHALL BE INSPECTED AND APPROVED PRIOR TO PLACEMENT OF BACKFILL. INSPECTION SHALL OCCUR ONLY WHEN THE LINES ARE FULLY BEDDED IN THE SPECIFIED MATERIAL AND AFTER ANY APPLICABLE TESTS ARE SUCCESSFULLY COMPLETED. INSPECTIONS SHALL BE PERFORMED BY THE APPLICABLE UTILITY PROVIDER, THE AHJ, AND/OR THE OWNER'S SPECIAL INSPECTOR. IF APPLICABLE, BACKFILLING SHALL BE MONITORED AND TESTED BY THE OWNER'S SPECIAL INSPECTOR.
13. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
14. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
15. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
17. ALL REQUIRED UTILITIES SERVING THE BUILDINGS SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF BUILDING UTILITY ENTRANCE LOCATION AT THE INVERTS NOTED. ALL REQUIRED CONNECTION FEES SHALL BE PAID BY THE BUILDING CONTRACTOR. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF UTILITIES TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR.
18. ALL ON-SITE UTILITIES SHALL BE UNDERGROUND, WHERE APPLICABLE.
19. CONTRACTOR IS REQUIRED TO DIGITALLY PHOTOGRAPH 75% OF THE UTILITIES INSTALLED.

ELECTRIC, TELEPHONE, & GAS:

1. THE LOCATIONS OF EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
2. THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30 INCHES OF COVER FOR ALL UNDERGROUND GAS UTILITIES OR AS REQUIRED BY THE UTILITY COMPANY, WHICHEVER IS MORE RESTRICTIVE.
4. ALL DETAILS OF ELECTRIC, GAS, & TELEPHONE UTILITY SERVICE SHALL BE APPROVED BY THE APPLICABLE UTILITY COMPANY AND INSTALLED TO THEIR REQUIREMENTS.
5. ELECTRICAL DUCT BANK SHALL RUN BELOW GAS LINES. A MINIMUM SEPARATION OF 3' AND 6" FOAM GLASS INSULATION (4' IN BOTH DIRECTIONS) IS REQUIRED WHERE THE DUCT BANK CROSSES HIGH TEMPERATURE WATER LINES.

WATER & SANITARY:

1. SEWER AND WATER SERVICES TO THE EXISTING BUILDINGS SHALL REMAIN CONTINUOUS THROUGHOUT CONSTRUCTION. THESE BUILDINGS WILL BE OCCUPIED THROUGHOUT CONSTRUCTION.
2. THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING WATER AND SANITARY SEWER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
3. ALL WATER MAIN PIPING SHALL BE CLASS 54 DUCTILE IRON PIPE.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER FOR ALL WATER DISTRIBUTION PIPING.
5. THRUST BLOCKS SHALL BE PROVIDED ALONG WATER AND FORCE MAIN LINES 6" IN DIAMETER OR LARGER AT ALL TEES, ELBOWS AND PLUGS.
6. ALL NEW WATER LINES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C600, OR THE REGIONAL WATER AUTHORITY REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
7. ALL NEW WATER MAINS SHALL BE DISINFECTED AND TESTED IN ACCORDANCE WITH AWWA STANDARD C651 AND LOCAL PROVIDER REQUIREMENTS.
8. ALL SANITARY SEWER PIPE TO BE SDR 35 PVC PIPE UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL MAINTAIN 4.5 FEET OF COVER ON ALL SEWER PIPES.
10. WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM HORIZONTAL DISTANCE OF 10 FEET AND MINIMUM VERTICAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF WATER MAIN AND THE OUTSIDE OF SEWER. IN CASES WHERE THE VERTICAL SEPARATION IS LESS THAN 18-INCHES OR AS OTHERWISE SPECIFIED ON THIS DRAWING OR THE PROFILE SHEETS, STORM OR SANITARY SEWER PIPE SHALL BE ENCASED WITH K-KRETE 5-FT MINIMUM IN EACH DIRECTION OF PIPE RUN AND 6-INCHES MINIMUM AROUND THE PIPE DIAMETER. AT ALL CROSSING ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE MAXIMUM DISTANCE FROM SEWER.
11. CONTRACTOR TO PROVIDE NECESSARY MATERIALS TO ENSURE CONTINUOUS SERVICE OF THE FORCE MAIN THROUGHOUT CONSTRUCTION. ITEMS NEEDED INCLUDE BUT ARE NOT LIMITED TO TEMPORARY PUMPS, STORAGE TANKS, AND POWER. IF A SHUTDOWN IS NEEDED, PRIOR COORDINATION AND AUTHORIZATION FROM THE AFFECTED PROPERTIES MUST BE OBTAINED BY THE CONTRACTOR.



Date	Description	No.
Revisions		

LANGAN

Langan CT, Inc.

New Haven, CT 06511

OSWEGATCHIE FIRE STATION

WATERFORD **CONNECT**
Drawing Title

UTILITY PLAN

STAFF TEAM

Project No. Drawing No.

140286501

3/7/2025

Drawn By

APF

checked By _____ Signature _____

BP Sheet 6 of 10
angan stb Layout: Layout1 Document Code: 140286501-0502-CU10

AngularJS Layout Layout Document Code: 110233331-0002-0010-0000-000000000000

RAIN GARDEN NOTES

1. DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF PROPOSED RAIN GARDEN.
2. THE LOCATION OF THE PROPOSED RAIN GARDEN MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR MATERIAL STOCKPILES AND PREVENT SILT ACCUMULATION.
3. THE USE OF THE PROPOSED RAIN GARDEN LOCATION FOR A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION IS DISCOURAGED. HOWEVER, WHEN UNAVOIDABLE, EXCAVATION FOR THE TEMPORARY SEDIMENT TRAP MUST BE A MINIMUM OF TWO FEET ABOVE THE FINAL DESIGN ELEVATION OF THE BOTTOM OF THE PROPOSED RAIN GARDEN.
4. EXCAVATION AND CONSTRUCTION OF THE RAIN GARDEN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE OF THE LIMITS OF THE BASIN.
5. THE EXCAVATION TO THE FINAL DESIGN ELEVATION OF THE RAIN GARDEN MAY ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED. IF CONSTRUCTION OF A STORMWATER BASIN OR RAIN GARDEN CANNOT BE DELAYED, BERMS MUST BE PLACED AROUND THE PERIMETER OF THE BASIN THROUGHOUT ALL PHASES OF CONSTRUCTION TO DIVERT FLOWS AWAY FROM THE BASIN. THE BERMS MAY NOT BE REMOVED UNTIL ALL CONSTRUCTION WITHIN THE DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED.
6. THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO RAIN GARDEN USE.
7. PRIOR TO PLACING THE BASIN SOIL MIX AND PLANTINGS, CONTRACTOR TO REMOVE ALL ACCUMULATED SILT AND SEDIMENT AND PERFORM TWO PERCOLATION TESTS IN THE PRESENCE OF THE ENGINEER TO ENSURE INFILTRATION CAPABILITIES.
8. THE RAIN GARDEN IS TO BE INSPECTED AFTER EVERY MAJOR STORM EVENT FOR THE FIRST 6 MONTHS POST CONSTRUCTION TO ENSURE PROPER INFILTRATION IS REALIZED. INSPECTION LOG TO CAPTURE THE DURATION OF STANDING WATER IN THE BASIN POST STORM AND AMOUNT OF ANY SEDIMENT BUILDUP TO DETERMINE IF BASIN IS CLOGGED. IF BASIN IS CLOGGED, CONTRACTOR TO REMOVE CLOGGED BASIN MATERIALS AND REPLACE WITH NEW. ADDITIONALLY, CONTRACTOR TO REMOVE ANY ACCUMULATED SEDIMENT PRIOR TO PLACING TOPSOIL AND PLANTINGS.
9. POST 6 MONTHS OF OPERATION, THE RAIN GARDEN MAINTENANCE TO CONTINUE IN ACCORDANCE WITH MOST CURRENT CONNECTICUT STORMWATER QUALITY MANUAL AND EROSION CONTROL GUIDELINES.
10. CONTRACTOR TO PERFORM FIELD PERMEABILITY TESTS BOTH PRE- AND POST-CONSTRUCTION TO CONFIRM PERCOLATION RATES WITHIN THE RAIN GARDEN REMAIN THE SAME AS DESIGNED.

GENERAL NOTES

1. EXISTING INFORMATION OBTAINED FROM THE FOLLOWING "BOUNDARY AND TOPOGRAPHIC SURVEY", 439 & 441 BOSTON POST ROAD, WATERFORD, CT, DATED JUNE 28, 2024.
2. PROPOSED BUILDING FOOTPRINT RECEIVED ELECTRONICALLY FROM SILVER PETRUCELLI ARCHITECTURE IN DECEMBER 2024.
3. THE SITE IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP 09011C0481J, EFFECTIVE AUGUST 5, 2013. ZONE X IS AN AREA OF MINIMAL FLOOD HAZARD WITH NO BASE FLOOD ELEVATIONS.

LEGEND

	PROPOSED
PROPERTY LINE	— - - - -
LIMIT OF DISTURBANCE	— LOD — LOD —
SILT FENCE	● ● ● ● ● ● ● ● ● ● ● ●
EXISTING INLET PROTECTION	□
PROPOSED INLET PROTECTION	○
PROPOSED BUILDING	— - - - -
HAYBALES	□□□□□□□□□□□□
TEMPORARY PARKING AREA	—
CONSTRUCTION ENTRANCE	□□□□□□□□□□□□
PROPOSED CURB	— - - - -

SOIL EROSION-SEDIMENT CONTROL NOTES

PROPOSED DEVELOPMENT

1. CONSTRUCTION WILL INCLUDE EARTHWORK, CURBING, PAVING, UTILITY INSTALLATION, LANDSCAPING AND BUILDING CONSTRUCTION. ALL DEMOLITION DEBRIS AND SOIL REMOVAL RELATED TO CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS GOVERNING SUCH ACTIVITIES.
2. THE DETAILED EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN WITHIN THIS PLANSET. THE PROPOSED MEASURES HAVE BEEN DESIGNED TO PREVENT THE MIGRATION OF SOIL SEDIMENT FROM THE SITE.

PROJECT SCHEDULE

PHASE 1 (APPROXIMATELY SPRING 2025 – SPRING 2026):

1. SCHEDULE A PRE-CONSTRUCTION MEETING WITH TOWN STAFF
2. FLAG THE CLEARING LIMIT LINES
3. REQUEST STAFF INSPECTION (IF REQUIRED)
4. INSTALL EROSION CONTROLS FOR PHASE 1 IN THE FOLLOWING ORDER:
 - 4.1. INSTALLATION OF SILT FENCE AND STAKED HAYBALES
 - 4.2. INSTALLATION OF INLET PROTECTION
 - 4.3. INSTALLATION OF TREE PROTECTION
 - 4.4. INSTALLATION OF CONSTRUCTION FENCE AND GATES
 - 4.5. INSTALLATION OF STABILIZED CONSTRUCTION PAD
5. REQUEST STAFF INSPECTION (IF REQUIRED)
6. COMPLETION OF SITE CLEARING WITHIN THE LIMITS OF PHASE 1
7. COMPLETION OF ROUGH GRADING WITHIN THE LIMITS OF PHASE 1
8. PREPARATION OF FOUNDATION AND BUILDING PAD
9. INSTALLATION OF SITE UTILITIES
10. COMPLETION OF FINAL GRADING AND PAVEMENT INSTALLATION WITHIN LIMITS OF PHASE 1
11. SUBSTANTIAL COMPLETION OF BUILDING FOR PHASE 1

12. ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM.
13. ALL EXPOSED SURFACES WILL BE TREATED WITH TOPSOIL PER THE LANDSCAPE PLANS PRIOR TO FINAL STABILIZATION.
14. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. LIME AND FERTILIZE PRIOR TO PERMANENT SEEDING.
15. SOIL EROSION AND SEDIMENT CONTROL SHALL INCLUDE, BUT NOT BE LIMITED TO, OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE ABOVE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ANY OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
16. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
17. PERMANENT
 - A. MATERIALS SPECIFICATION: LAWN AREAS.
 - a. SOIL
ANY SOIL HAVING A pH OF 4 OR LESS CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE INCHES OF SOIL HAVING A pH OF FIVE OR MORE PRIOR TO SEED BED PREPARATION.
 - b. LIME
THREE TONS PER ACRE GROUND LIMESTONE INCORPORATED FOUR INCHES INTO SOIL.
 - c. FERTILIZER

500 L.S. PER ACRES 10-20-10 INCORPORATED FOUR INCHES INTO SOIL.

d. SEED
DATES 4/15-6/15 AND 9/15-10/15. 30 LBS OF KENTUCKY 31 TALL FESCUE, 30 LBS OF SPREADING FESCUE, 30 LBS OF KENTUCKY BLUEGRASS PER ACRE.

e. SHADE AREAS
15 LBS OF SPREADING FESCUE, 15 LBS OF CHEWINGS RED FESCUE, 30 LBS KENTUCKY BLUEGRASS, AND 10 LBS OF PERENNIAL RYE GRASS PER ACRE. MULCH SHOULD BE APPLIED AFTER SEEDING FOR ADDED PROTECTION.

B. MULCHING SHALL BE DONE AT THE RATE OF SEVENTY TO NINETY POUNDS (70-90 LBS) PER 1,000 SQUARE FEET WITH UNROTTED SALT HAY.

C. LIQUID MULCH BINDERS MUST BE USED TO ANCHOR SALT HAY, HAY OR STRAY MULCHES.

a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CREATED BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

b. USE ONE OF THE FOLLOWING: SYNTHETIC OR ORGANIC BINDERS, BINDERS SUCH AS CURASOL DCA-70, PETRO SET, TERRA TACH, HYDRO MULCH AND AEROSPRAY MAY BE USED AT RATES RECOMMENDED BY

SHALL NOT BE USED.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE TO THE EXCLUSION OF OTHER PRODUCTS.

- D. FILL MATERIAL SHALL BE FREE FROM DEBRIS, PERISHABLE OR COMBUSTIBLE MATERIAL AND FROZEN OR WET EARTH OR STONES LARGER THAN THREE INCHES IN MAXIMUM DIMENSION.
- E. CONSTRUCTION AREAS SHALL BE PERIODICALLY SPRAYED WITH WATER UNTIL THE SURFACE IS WET TO CONTROL THE GENERATION OF DUST.
- F. ALL REVISIONS AFTER APPROVAL HAS BEEN GRANTED SHALL BE FORWARDED TO THE APPROPRIATE DISTRICT FOR REVIEW.
- G. THE LOCAL GOVERNING AUTHORITY SHALL RECEIVE WRITTEN NOTIFICATION SEVENTY TWO HOURS BEFORE THE START OF ANY CONSTRUCTION.
- H. SEEDED PREPARATION:
 - c. TOPSOIL SHOULD BE A MINIMUM OF SIX INCHES DEEP (COMPACTED) BEFORE SEEDING.
 - d. HAVE TOPSOIL TESTED FOR pH, ADD LIME AS NECESSARY TO ACHIEVE pH OF 6.5. APPLY FERTILIZER AT A RATE OF 300 POUNDS PER ACRE OR SEVEN POUNDS PER 4,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP DRESSING.
 - e. WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE ALL CLAY OR SILTY SOIL AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEED BED WHEREVER FEASIBLE.
 - f. REMOVE FROM THE SURFACE ALL STONES ONE INCH OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
 - g. INSPECT SEED BED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACT, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

CONTINGENCY SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

1. THE GENERAL CONTRACTOR WILL DESIGNATE PERSONNEL FOR 24 HOUR EMERGENCY RESPONSE IN THE EVENT OF SEVERE WEATHER AND INCREASED POTENTIAL FOR SEVERE EROSION. CONTRACTOR TO PROVIDE NAME AND PHONE NUMBER OF INDIVIDUAL TO THE PLANNING AND ZONING COMMISSION PRIOR TO THE START OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR IS REQUIRED TO MAINTAIN ON SITE OR HAVE THE ABILITY TO RETRIEVE WITHIN 12 HOURS THE FOLLOWING MATERIALS IN THE EVENT THAT THERE ARE DEFICIENCIES IN THE SESC MEASURES:
 - A. 25% OF THE INSTALLED LENGTH OF SILT FENCE
 - B. EQUIVALENT TONNAGE OF STONE FOR STABILIZATION OF 1 STABILIZATION ENTRANCE. STONE COULD BE USED FOR SLOPE REPAIRS, ENERGY DISSIPATER ENHANCEMENTS, ETC.
 - C. HEAVY EQUIPMENT CAPABLE OF TRENCHING/EXCAVATING LARGE AREAS TO DIVERT AND CONTROL RUNOFF IN A CONTROLLED MANNER.
 - D. HAVE DESIGNATED A HYDRO-SEED CONTRACTOR CAPABLE OF RESPONDING TO THE SITE WITHIN 12 HOURS

Revisions	Description	No.
1	Initial version	1.0

The seal is circular with a double-lined outer border. The words "STATE OF CONNECTICUT" are at the top and "PROFESSIONAL ENGINEER" are at the bottom. In the center is a crest featuring a shield with a bridge, a river, and a factory, topped by a helmet and a laurel wreath. Below the crest is the text "PEN0021993" and "LICENSED".

LANGAN

Langan CT, Inc.

OSWEGATCHIE FIRE STATION

TERFORD
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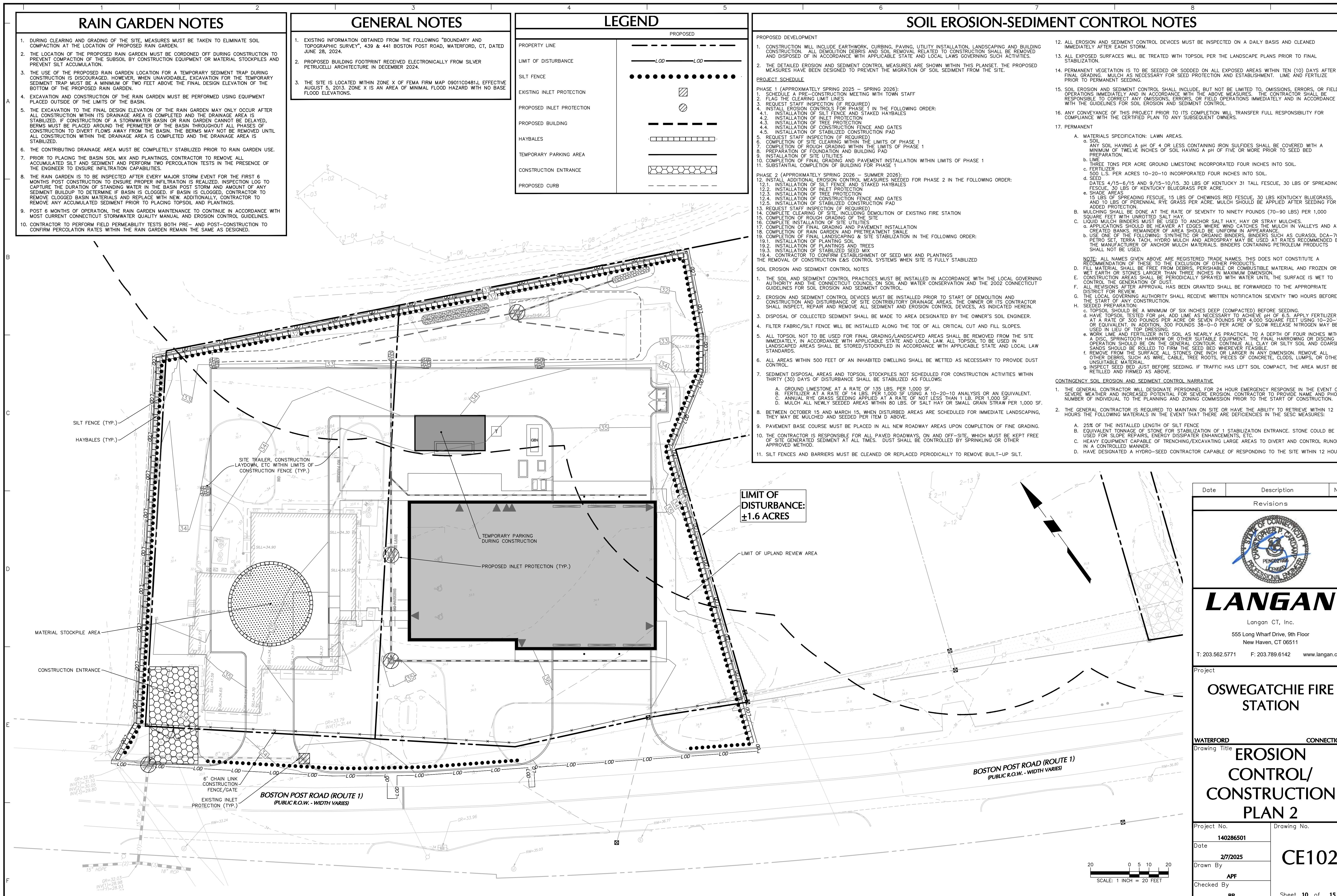
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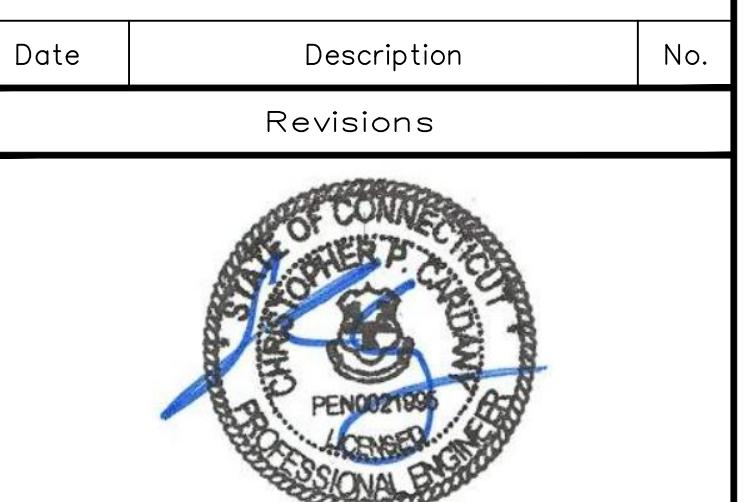
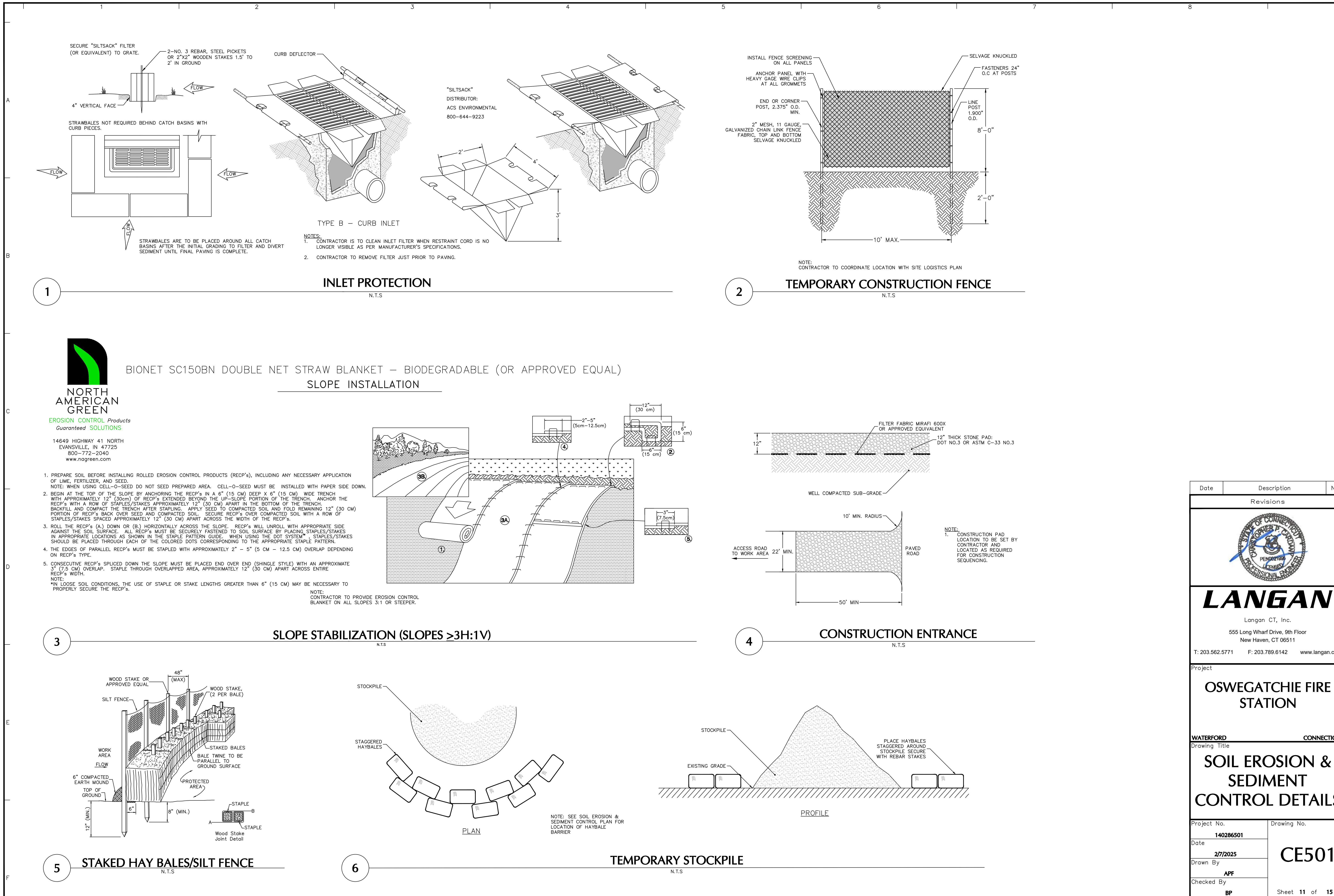
EROSION CONTROL/ CONSTRUCTION PHASING PLAN 1

Project No.	Drawing No.
140286501	
2/7/2025	
Drawn By	CE101
APF	
Checked By	
BP	Sheet 9 of 15

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JANGAN

anagn CT, Inc.

ng Wharf Drive, 9th Floor

7-222-722-2446

11. **What is the primary purpose of the following statement?**

OSWEGATCHIE FIRE STATION

TERFORD CONNECTICUT

ving Title

SOIL EROSION & SEDIMENT CONTROL DETAILS

ect No. 140286501	Drawing No. CE501
2/7/2025	
wn By	
APF	
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BP	

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AROG	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B	-
EVERGREEN TREE(S)						
JV	13	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6-7'	B+B	-
PGL	14	PICEA GLAUCA	WHITE SPRUCE	6-7'	B+B	-
EVERGREEN SHRUB(S)						
IGC	4	ILEX GLABRA COMPACTA	DWARF INKBERRY HOLLY	18-24"	CONTAINER	-
DECIDUOUS SHRUB(S)						
AAB	20	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	18-24"	CONTAINER	-
CA	27	CLETHRЯ ALNIFOLIA	SUMMERSWEET CLETHRЯ	18-24"	CONTAINER	-
ORNAMENTAL GRASS(ES)						
PVI	16	PANICUM VIRGATUM	SWITCH GRASS	2 GAL.	CONTAINER	-
SSCO	34	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2 GAL.	CONTAINER	-

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

A

B

C

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TANGAN

Project No. 140286501

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME
SHADE TREE(S)			
AROG	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE
EVERGREEN TREE(S)			
JV	13	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR
PGL	14	PICEA GLAUCA	WHITE SPRUCE
EVERGREEN SHRUB(S)			
IGC	4	ILEX GLABRA COMPACTA	DWARF INKBERRY HOLLY
DECIDUOUS SHRUB(S)			
AAB	20	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHokeBERRY
CA	27	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA
ORNAMENTAL GRASS(ES)			
PVI	16	PANICUM VIRGATUM	SWITCH GRASS
SSCO	34	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SH...

BOSTON POST ROAD (ROUTE 1) (PUBLIC R.O.W. - WIDTH VARIES)

BOSTON POST ROAD (ROUTE 1) (PUBLIC R.O.W. - WIDTH VARIES)

SCALE: 1 INCH = 20 FEET

Date	Description	N
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	Revisions	
	 The seal of the State of Connecticut, featuring a central shield with a plow, a sheaf of wheat, and a sheaf of corn, supported by a bison and an elk. Above the shield is a crest with a star. The shield is surrounded by a circular border with the words "THE GREAT SEAL OF THE STATE OF CONNECTICUT" and the date "1785". The entire seal is enclosed in a circular border with the words "THE GREAT SEAL OF THE STATE OF CONNECTICUT" and the date "1785".	

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Langan CT, Inc.
555 Long Wharf Drive, 9th Floor
New Haven, CT 06511

WATERFORD **CONNECTICUT**
Drawing Title

<h1>PLANTING PLAN</h1>	
Project No.	Drawing No.
140286501	
Date	2/7/2025
Drawn By	LP101
Checked By	
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GENERAL LANDSCAPE PLANTING NOTES

1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. PLANT VARIETIES NOT INCLUDED THEREIN NAMES GENERALLY ACCEPTED IN NURSERY TRADE.

2. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH IN THE "AMERICAN STANDARDS FOR NURSERY STOCK". PLANTS AND PLANT MATERIALS PLANTED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION NURSERY MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS AND FREE FROM DISEASES AND INSECT INFESTATION.

3. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE PLANTED AND SHALL BE PLANTED IN THE SAME SOIL GRADE AS PLANTED. PLANT MATERIAL GRADE REFERS DIVISION OF PLANT MATERIALS. THE SAME SPECIES AS SPECIFIED AS THE SAME SPECIES SHOULD BE SIMILAR IN SHAPE, COLOR, AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL WHICH DOES NOT MEET THE PLANTED SPECIES AND HABIT OF THAT SPECIES. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED. ANY TREE THAT LOSES THE MALE LEADER SHALL BE REPLACED.

4. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED FOR THE SPECIFICATIONS.

5. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE DIVISIONS OF PLANT MATERIALS ARE EXISTING OR IMPORTED AND PLACED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE DIVISIONS OF PLANT MATERIALS ARE EXISTING OR IMPORTED AND PLACED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE DIVISIONS OF PLANT MATERIALS ARE EXISTING OR IMPORTED AND PLACED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE DIVISIONS OF PLANT MATERIALS ARE EXISTING OR IMPORTED AND PLACED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE DIVISIONS OF PLANT MATERIALS ARE EXISTING OR IMPORTED AND PLACED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE DIVISIONS OF PLANT MATERIALS ARE EXISTING OR IMPORTED AND PLACED.

6. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE FINISH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.

7. ALL PLANT INSTALLATION SHALL BE COMPLETED EITHER BETWEEN APRIL 15 - JUNE 15 OR SEPT 1 - OCTOBER 15, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.

8. ALL FENCE AND GUIDE RAIL INSTALLATIONS SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.

9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT DURING THE COURSE OF CONSTRUCTION, NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY FOR ANY DAMAGE.

10. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE EXACT LOCATION OF ALL UTILITY LINES (CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.

11. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.

12. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL NOT PLANT ANY PLANT MATERIAL UNTIL THE OWNER AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.

13. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT MAY REQUIRE PLANT MATERIALS TO BE STORED IN A MANNER THAT PREVENTS DAMAGE TO ROOTS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECT MATERIAL IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.

14. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ANY PLANT MATERIAL WHICH IS DISEASED, DISEASED, MISSING, 25% OR MORE DEAD, WHICH DO NOT DEVELOP FROM PLANT MATERIAL WHICH IS UNPLANTED, UNPLANTED, OR WHICH DO NOT MEET THE DESIGN INTENT SHAPE DUE TO DEAD BRANCHES, OR REJECTED FOR ANY OTHER REASON (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUALITY, AND DESIGN INTENT AS THE ORIGINAL PLANT MATERIALS.

15. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.

16. DELIVERY, STORAGE, AND HANDLING
A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, NAME, AND MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY AND STORED AT SITE.

B. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUE TO THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BEND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE THE PLANT MATERIAL. DO NOT DAMAGE THE PLANT MATERIAL DURING PROTECTIVE COVERING DURING TRANSIT. DO NOT DROPPED BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.

C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK SHALL BE USED. NO PLANT MATERIALS SHALL BE STORED IN CONTAINERS. PLANT MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. DO NOT PLANT WITH A WIRE BASKET OR BURLAP. THE PLANT MATERIAL CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN PLANTING LOCATIONS.

D. PLANT CONTRACTOR HAVE THE PLANT SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER, AND COVER THE PLANT MATERIALS MOST BY COVERING WITH MULCH, BURLAP, OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

17. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINISHED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.

18. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AND CONTRACT SPECIFICATIONS.

19. CONTRACTOR SHALL MAINTAIN PLANT MATERIALS AS PLANTED UNTIL PERMANENTLY MAINTAINED. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANT MATERIALS WHICH ARE NOT MAINTAINED AS SPECIFIED. REPAIRING, REPAIRING, MULCHING, FERTILIZING, ETC. ALL OF THE PLANT MATERIALS AND LAWNS FOR THE DURATION OF THE GUARANTEED PERIOD. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

20. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. DUST AND DIRT FROM PLANT MATERIALS OR UNPACKED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.

21. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24- HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING PLANT MATERIALS FROM A WATER SOURCE WITH OWNER PRIOR TO BID AND INCLUDE ALTERNATE MEANS OF WATERING IF NECESSARY.

22. ON-SITE WATER SHALL BE FURNISHED BY THE CONTRACTOR. HOSE AND OTHER WATERING EQUIPMENT SHALL BE FURNISHED BY THE CONTRACTOR.

23. AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. DO NOT PULL DOWN THE BURLAP AFTER INSTALLATION.

24. ALL TREES MUST BE GUARD OR STAKED IF REQUIRED BY ORDINANCE, IF LOCATED ON A SLOPE: 3:1 OR GREATER, OR IF THE SITE IS LOCATED IN A HIGH WIND ZONE.

25. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH. THE NATURAL MULCH SHALL BE A BURLAP WRAPPED, SHREDDED, OR BLOWN MULCH. THE NATURAL MULCH WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST. MULCH SHOULD BE A FIBROUS SHREDDED, OR BLOWN MULCH. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. MULCH OR TOPSOIL SHOULD NOT EXCEED THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.

26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PROGRESS TO WORK, FOR ANY DISCREPANCY BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHALL SHOW GOVERN.

27. LANDSCAPE PUNCH LIST SITE VISITS TO BE PERFORMED BY THE PROJECT LANDSCAPE ARCHITECT, IF UNDERSIGNED CONTRACT FOR SUCH WORK, WILL NOT BE SCHEDULED UNTIL CONFIRMATION IS RECEIVED THAT ALL PLANT MATERIALS HAVE BEEN INSTALLED AND PLANTED. THE CONTRACTOR SHALL FURNISH A PUNCH LIST REPORT HAVE BEEN CORRECTED, THE PUNCH LIST SITE VISIT WILL THEN BE PERFORMED WITHIN 10 BUSINESS DAYS.

28. CONTRACTOR SHALL ASSESS THAT NEED FOR ANIMAL PROTECTION ON SITE. IF DEEMED NECESSARY, TREES SHALL BE PROTECTED AS NECESSARY.

29. ALL SLOPES 3:1 OR GREATER AND ALL SIDE SLOPES OF BASINS SHALL REQUIRE AN EROSION CONTROL BLANKET. ERONE: 50149 FOR NORTH AMERICAN GREEN, OR APPROVED EQUAL.

SOD SPECIFICATIONS

1. SOD TO BE 100% TURF TYPE TALL FESQUE BLACK BEAUTY AS GROWN BY SODCO (OR APPROVED EQUAL), AREA TO BE FURNISHED BY A REPUTABLE GROWER WITH A MINIMUM 5 YEARS EXPERIENCE.

2. PRIOR TO SODDING ALL AREAS ARE TO BE TOPSOILED, FIN GRADED, RAKED, WATERED LIGHTLY, AND FERTILIZED WITH A STARTER FERTILIZER.

3. ALL STONES GREATER THAN 2" DIAMETER SHALL BE REMOVED.

4. SOD TO BE INSTALLED PERPENDICULAR TO ALL SLOPED AREAS. SOD STRIPS TO BE LAYED OUT SO JOINTS ARE NOT CLOSER THAN ONE FOOT (1'-0") FROM EACH OTHER.

5. SOD IS TO BE WATERED AT A RATE OF AT LEAST ONE AND A HALF INCHES (1 1/2") PER WEEK UNTIL ROOT MASS MENDS WITH SOIL. AFTER THIS HAS OCCURRED NORMAL WATERING OF AT LEAST ONE INCH (1") PER WEEK IS TO COMMENCE.

6. ALL SOD AREAS ARE TO BE ROLLED IF ANY HEAVING OR DEPRESSIONS OCCUR.

PLANTING SOIL SPECIFICATIONS

1. PLANTING SOIL ALTERNATELY REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" dia. IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.

2. PLANTING SOIL:
REUSE SURFACE SOIL STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL SOIL, PLANTS, SOIL, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED, THE CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PLANTING SOILS SHALL MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANTS AND SPECIFICATIONS.

SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.

3. AT A MINIMUM, PLANTING SOILS AND FURNISH SAMPLES UPON REQUEST. PLANTING SOILS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADE NAME. CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PLANTING SOILS SHALL BE STORED IN SITE TEMPORARILY IN STOCKPOTS PROVIDED BY THE CONTRACTOR. PLANTING SOILS SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPAULIN

4. ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE SITE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC FEET TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL BE PROVIDED FOR ALL PLANTING SOILS. CONTRACTOR SHALL FURNISH SAMPLES UPON REQUEST. PLANTING SOILS SHALL BE AMENDED OR AMENDED SOILS SHALL BE AMENDED IN ACCORDANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION. PLANTING SOILS SHALL BE TESTED FOR THE FOLLOWING:
a. PARTICLE SIZE ANALYSIS - LOAM: 40-65% SAND, 25-60% SILT, AND 15-20% CLAY.
b. GRAVEL CONTENT (2mm): LESS THAN 10%
c. FERTILITY ANALYSIS: pH (5.5-6.5), SOLUBLE SALTS (0.2 to 1.5 MHMO/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM
d. ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS
e. TOXIC SUBSTANCE ANALYSIS

f. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED
g. NOT MORE THAN 15% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE

5. C. SOILS FOR BASING (BIO-RETENTION, INFILTRATION, ETC.) AND BIOSWALE SHALL BE TESTED FOR COMPLIANCE WITH THE CIVIL ENGINEERING SPECIFICATIONS, OR OTHERWISE THE BEST MANAGEMENT PRACTICES MANUAL FOR THE RESPECTIVE STATE IN WHICH THE PROJECT IS LOCATED.

6. SOIL AMENDMENT FOR PLANT MATERIAL:
a. SOILS WHICH ARE INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, NEED FREE, ORGANIC MATTER, ORGANIC AMENDMENT SHALL BE WELL COMPOSED, PH RANGE OF 6-8; MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MHMO/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILM.

A. ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60-90% ORGANIC CONTENT BY WEIGHT, SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YEAR, SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".

B. SOILS AND PLANT BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.

C. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
a. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

b. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

c. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

d. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

e. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

f. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

g. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

h. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

i. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

j. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

k. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

l. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

m. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

n. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

o. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

p. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

q. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

r. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

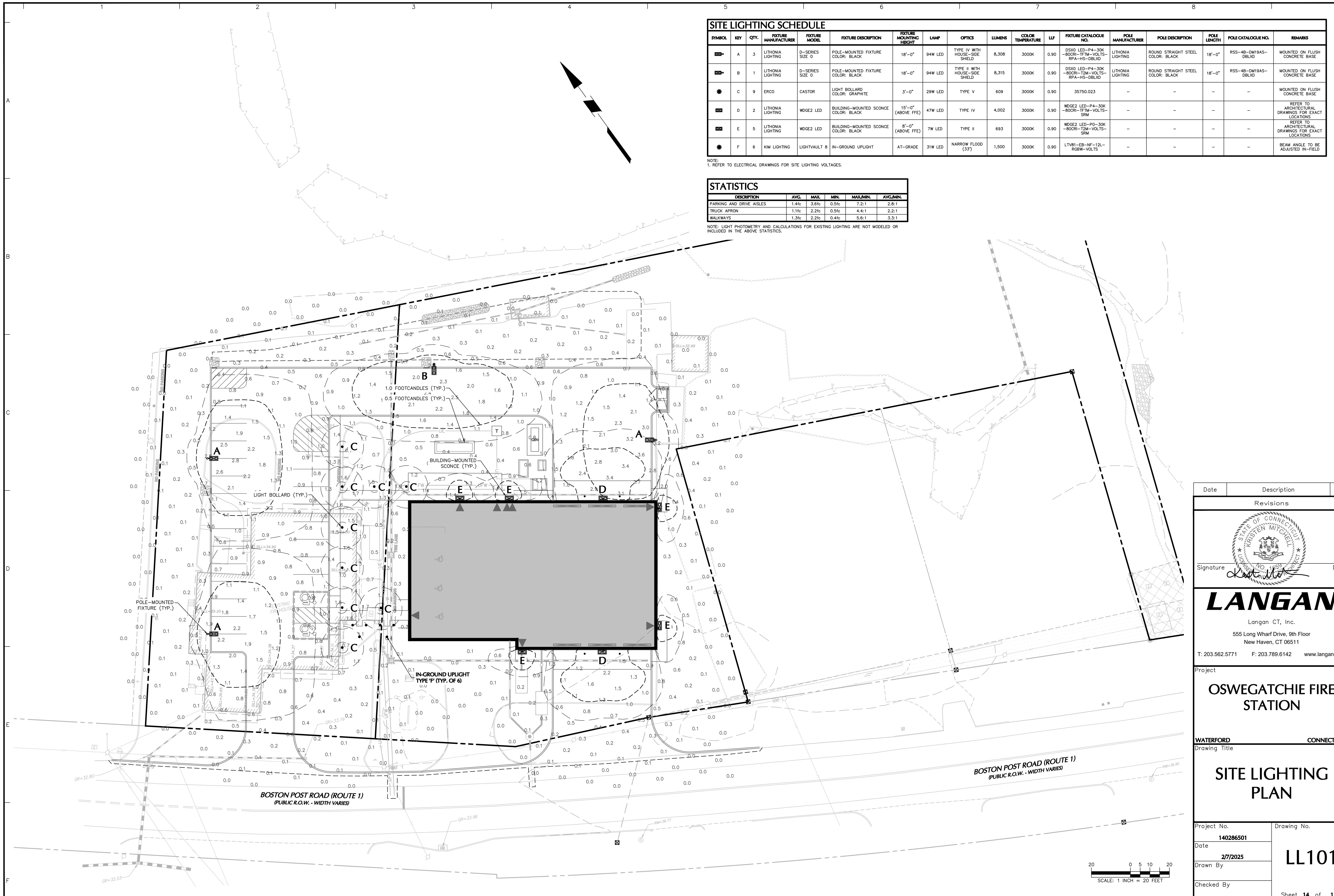
s. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

t. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

u. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

v. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

w. 50% TOPSOIL AND 50% OF SAND AND MAGNESIUM CARBONATES USED PENDING RESULTS OF SOIL ANALYSIS.

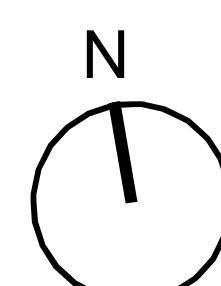
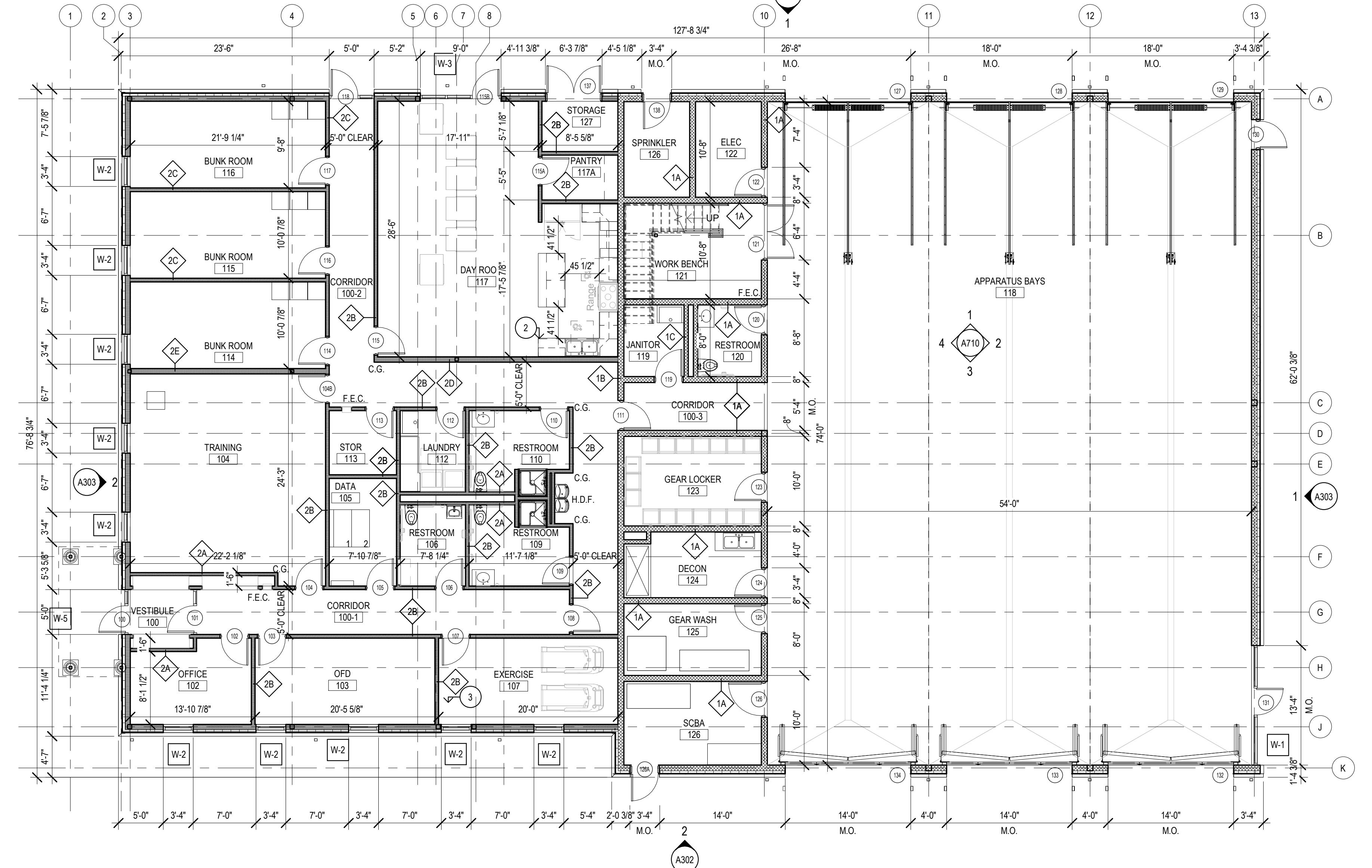
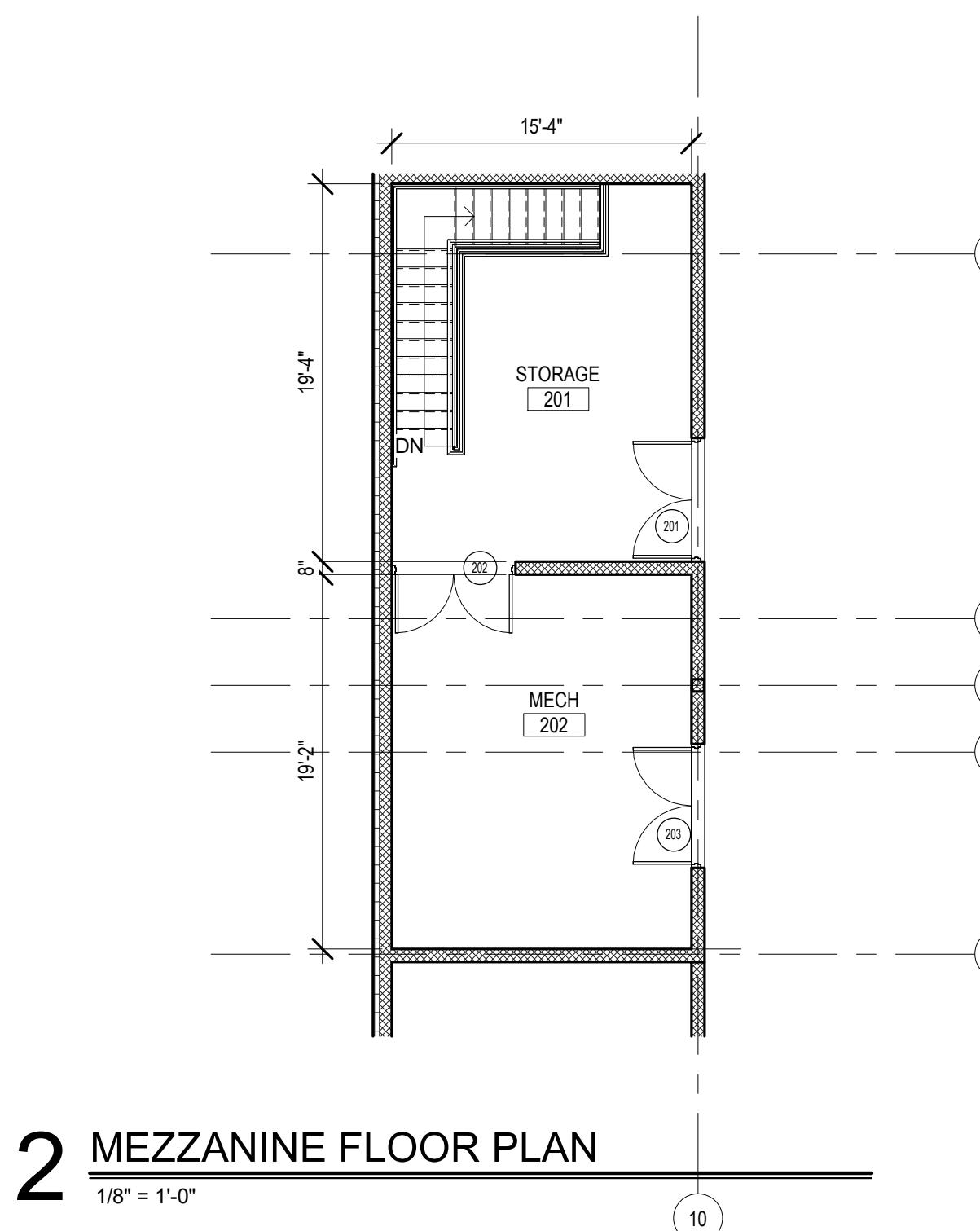


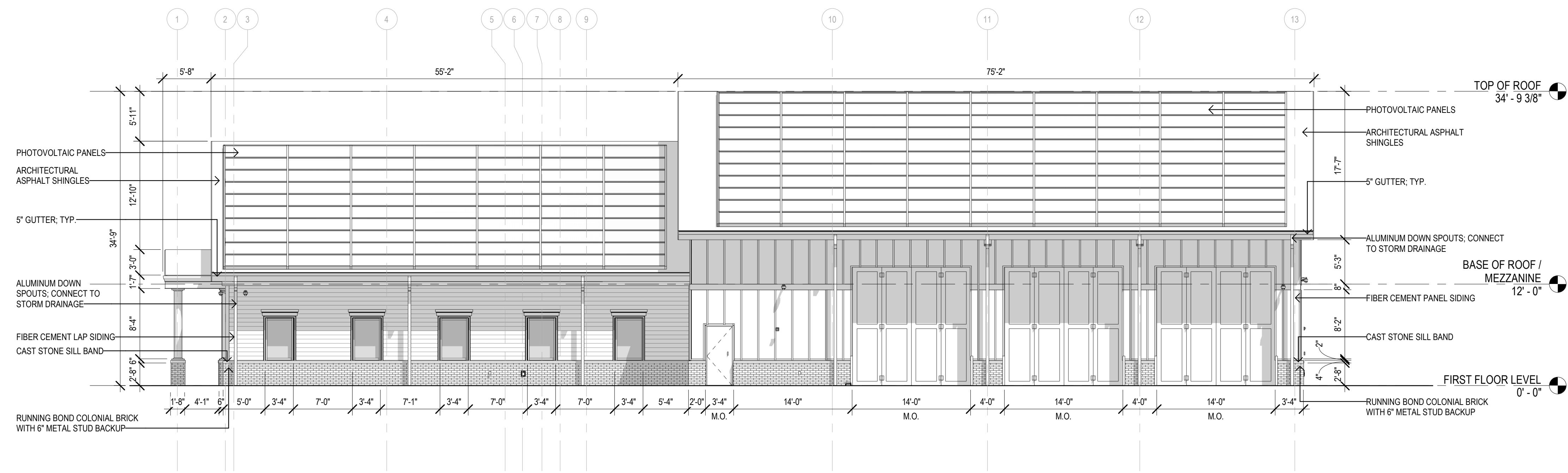
SYMBOL LEGEND

	- NEW METAL STUD PARTITIONS
	- NEW MASONRY WALL
	- NEW CMU WALL
	- DOOR NUMBER
	- WINDOW TYPE
	Room name - ROOM NAME - ROOM NUMBER
	- PARTITION TYPE
	- CONSTRUCTION NOTE
	- EXTERIOR ELEVATION NUMBER
	- SHEET NUMBER
	- INTERIOR ELEVATION NUMBER
	- SHEET NUMBER
	- BUILDING SECTION NUMBER
	- SHEET NUMBER
	- WALL SECTION NUMBER
	- SHEET NUMBER
	C.G. - CORNER GUARD
	F.E.C. - FIRE EXTINGUISHER CABINET
	FD - FLOOR DRAIN - SLOPE TO DRAIN
	H.D.F. - HANDICAPPED DRINKING FOUNTAIN

GENERAL NOTES

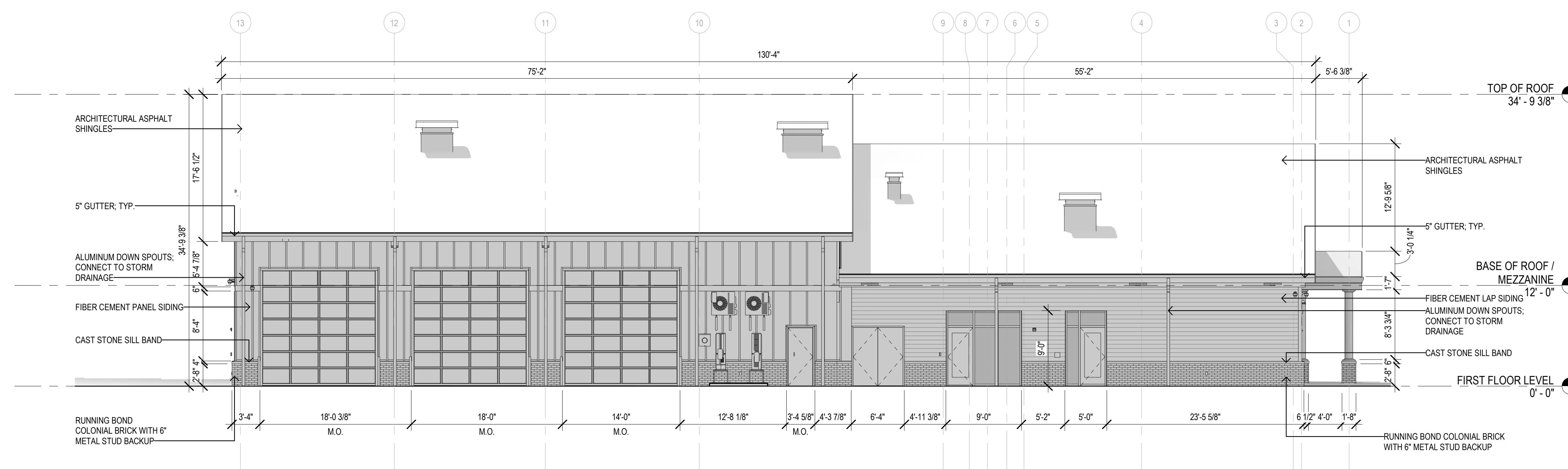
1. READ ALL GENERAL NOTES ON DRAWING A001.
2. CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS.
3. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK, CONCRETE MASONRY UNITS AND METAL FRAMING UNLESS OTHERWISE NOTED.
4. ALL NEW WALL AND PARTITION ASSEMBLIES SHALL EXCLUDE 1/2" DECK UNLESS OTHERWISE NOTED.
5. PROVIDE CMU WITH PRE-MANUFACTURED BULLNOSE AT ALL EXPOSED CORNERS WHERE THE WORD "ALIGN" IS INDICATED IT SHALL MEAN TO ALIGN BOTH SIDES OF WALL.
6. 1/8" = 1'-0"





2 SOUTH ELEVATION

1/8" = 1'-0"



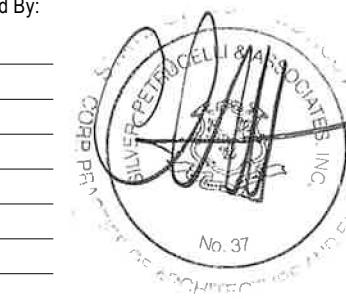
1 NORTH ELEVATION

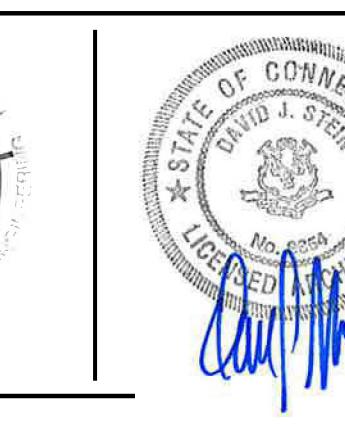
1/8" = 1'-0"

Project Title:
NEW CONSTRUCTION
OSWEGATCHIE FIRE STATION
441 BOSTON POST RD
WATERFORD, CT 06385



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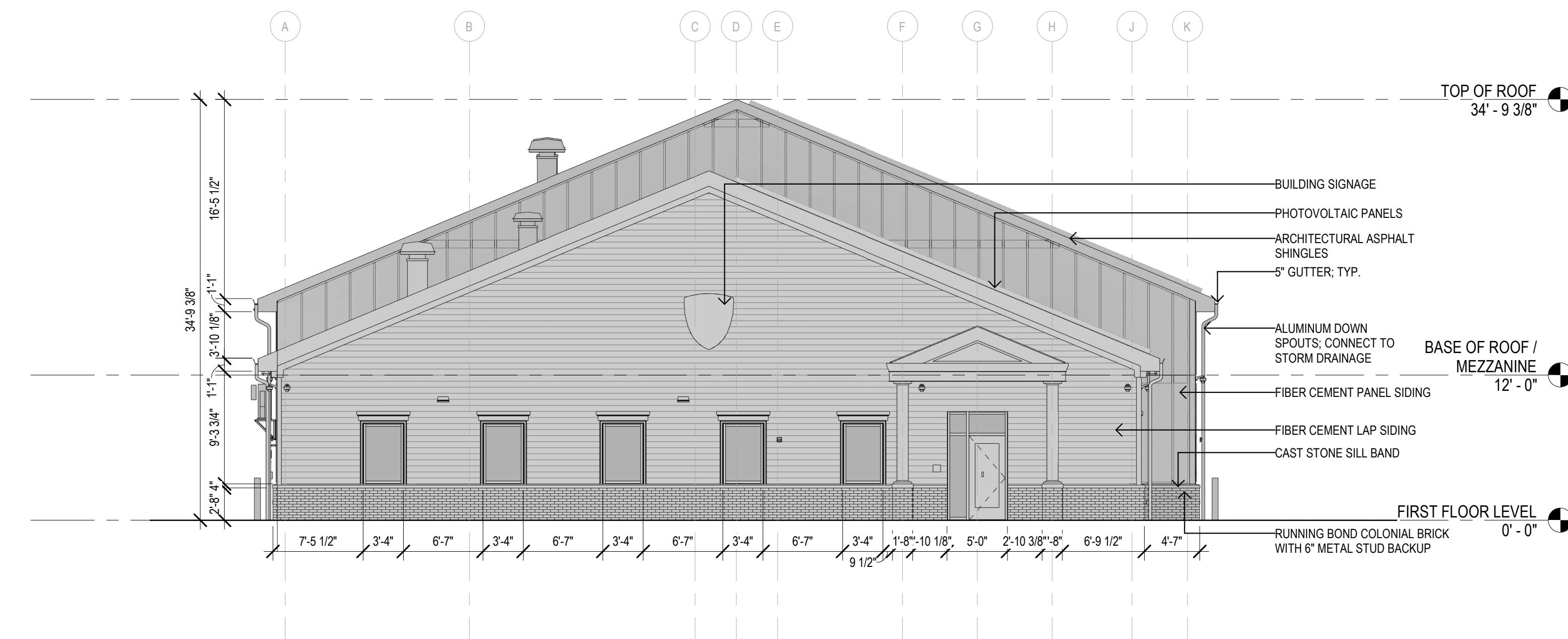
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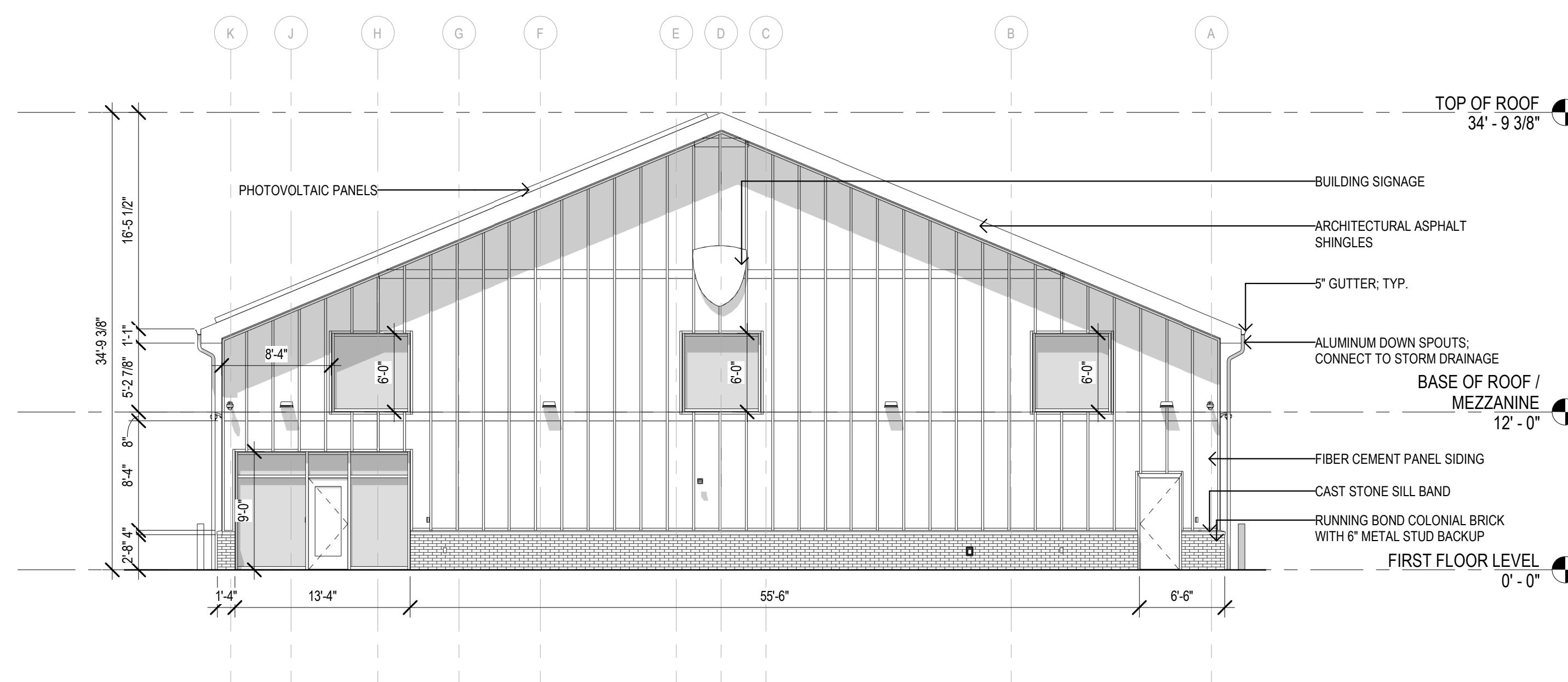
Drawing Title: EXTERIOR ELEVATIONS
 Project Phase: 100% DESIGN DEVELOPMENT
 State Project Number: _____

Date: 01/24/25
 Scale: 1/8" = 1'-0"
 Drawn By: _____
 EAC _____
 Project Number: 23352

A302



2 WEST ELEVATION



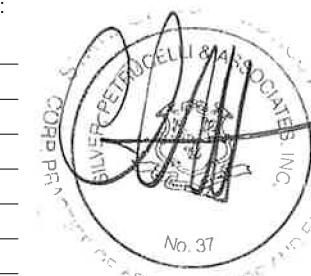
1 EAST ELEVATION

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NEW CONSTRUCTION
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Revision: _____ Description: _____ Date: _____ Revised By: _____





Drawing Title: EXTERIOR ELEVATIONS
Project Phase: 100% DESIGN DEVELOPMENT
State Project Number: _____

Date: 01/24/25
Scale: 1/8" = 1'-0"
Drawn By: EAC
Project Number: 23352

A303



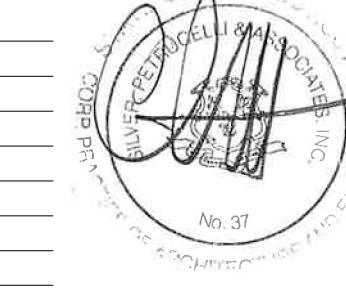
Project Title:

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Drawing Title: **3D VIEW**

Project Phase: **100% DESIGN**

State Project Number: **1234567890**



Project Phase:

100% DESIGN DEVELOPMENT

Date: 01/24/25
Scale:
Drawn By:
EC
Project Number:
00-050

A304

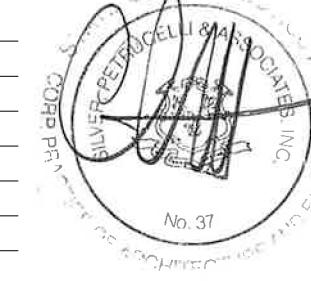


Project Title:

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Drawing Title:
3D VIEW

Project Phase:
100% DESIGN

State Project Number:

Project Phase:
100% DESIGN DEVELOPMENT

Date: 01/24/25
Scale:

Drawn By: EC
Project Number:

A305